

## ORDINANCE NUMBER 2018-1512

### SUMMARY

Ordinance Number 2018-1512, an ordinance for two Major Modifications to the North Douglas County Specific Plan: a Zoning Map Amendment for an 11.30 acre portion of an 87.02 acre parcel from OC (Office Commercial), NC (Neighborhood Commercial), SFR-8000 (Single Family Residential-8000 square foot minimum net parcel size) and PF (Public Facilities) to MFR (Multi-Family Residential) for 10.68 acres and PF (Public Facilities) for 0.62 acres; and a modification to Section 4.3 of the Specific Plan to allow for greater flexibility regarding multi-purpose path width and surface types based on location and physical constraints. The subject property is located east of Highway 395 on North Sunridge Drive approximately 1/3 mile south of Topsy Lane in the Indian Hills/Jacks Valley Community Plan (APN 1420-05-401-005).

### TITLE

**Ordinance Number 2018-1512, an ordinance for two Major Modifications to the North Douglas County Specific Plan: a Zoning Map Amendment for an 11.30 acre portion of an 87.02 acre parcel from OC (Office Commercial), NC (Neighborhood Commercial), SFR-8000 (Single Family Residential-8000 square foot minimum net parcel size) and PF (Public Facilities) to MFR (Multi-Family Residential) for 10.68 acres and PF (Public Facilities) for 0.62 acres (APN 1420-05-401-005); a modification to Section 4.3 of the North Douglas County Specific Plan to allow for greater flexibility regarding multi-purpose path width and surface types based on location and physical constraints; and other properly related matters.**

The Board of County Commissioners of the County of Douglas of the State of Nevada does ordain as follows:

**Preamble:** On October 4, 2018 the Douglas County Board of Commissioners heard the application submitted by Keith Serpa for Project LM, LLC and took public comment. On November 1, 2018, the Douglas County Board of Commissioners held a public hearing and approved the request for the Major Modifications to the North Douglas County Specific Plan: a Zoning Map Amendment for an 11.30 acre portion of an 87.02 acre parcel from OC (Office Commercial), NC (Neighborhood Commercial), SFR-8000 (Single Family Residential-8000 square foot minimum net parcel size) and PF (Public Facilities) to MFR (Multi-Family Residential) for 10.68 acres and PF (Public Facilities) for 0.62 acres and a modification to Section 4.3 of the Specific Plan to allow for greater flexibility regarding multi-purpose path width and surface types based on location and physical constraints. The subject property is located east of Highway 395 on North Sunridge Drive approximately 1/3 mile south of Topsy Lane in the Indian Hills/Jacks Valley Community Plan (APN 1420-05-401-005). This is the fourth amendment to the North Douglas County Specific Plan.

**Section I:** An 11.30 acre portion of an 87.02 acre parcel, more commonly known as APN 1420-05-401-005, located in Douglas County, Nevada, is zoned MFR (Multi-Family Residential) for 10.68 acres and PF (Public Facilities) for 0.62 acres, as described in Exhibit A and depicted in Exhibit A-1 which are attached hereto and incorporated by reference herein.

**Section II:** Section 4.3 of the North Douglas County Specific Plan is amended as shown in Exhibit B attached hereto and incorporated by reference herein.

PROPOSED on \_\_\_\_\_, 2018

PROPOSED by Commissioner \_\_\_\_\_

PASSED on \_\_\_\_\_, 2018

VOTE:      AYES:      Commissioners \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAYS: Commissioners \_\_\_\_\_

\_\_\_\_\_

Absent: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Steven J. Thaler, Chair  
Douglas County Board of Commissioners

ATTEST:

\_\_\_\_\_  
Clerk-Treasurer

This ordinance shall be in force and effect from and after the \_\_\_\_\_ day of the month of \_\_\_\_\_ of the year \_\_\_\_\_.

Attachment: Ord 2018-1512-updated (3597 : Zoning Map Amendment (DA 17-111))

**EXHIBIT "A"****VALLEY KNOLLS – MFR DESIGNATION AREA  
DOUGLAS COUNTY, NEVADA**

A portion of Parcel 2 of Record of Survey in Support of a Boundary Line Adjustment for Carson Auto Mall, LLC & Project LM, LLC as shown on Document No. 703021 recorded on June 14, 2007 in the official records of Douglas County, Nevada situate in the Northeast One-Quarter (NE 1/4) of the Northwest One-Quarter (NW 1/4) of Section Eight (Sec 8) and the Southwest One-Quarter (SW 1/4) of Section Five (Sec 5), Township Fourteen North (T.14N.), Range Twenty East (R.20E.), Mount Diablo Meridian (MDM), Douglas County, Nevada.

**MFR AREA "A"**

**COMMENCING** at the Northwest Corner (NW Cor) of said Parcel 2;

**THENCE** departing said NW Cor and along the west line thereof, South 01°01'33" West, 662.57 feet;

**THENCE** continuing along said west line, South 01°02'53" West, 428.36 feet to the **POINT OF BEGINNING OF MFR AREA "A"**;

**THENCE** departing said west line, South 66°38'53" East, 169.03 feet;

**THENCE** South 88°57'07" East, 52.06 feet;

**THENCE** South 45°24'49" West, 298.10 feet to a point hereinafter referred to as **POINT "A"** and to the west line of said Parcel 2;

**THENCE** departing said **POINT "A"** and along said west line, North 01°02'53" East, 277.26 feet to the **POINT OF BEGINNING OF MFR AREA "A"**.

Containing 27,227 square feet of land, more or less.

**MFR AREA "B"**

**COMMENCING** at the aforementioned **POINT "A"** being a point on the west line of said Parcel 2;

**THENCE** departing said **POINT "A"** and along said west line, South 01°02'53" West, 221.02 feet to the northeasterly right-of-way of N. Sunridge Drive (100' wide) and the beginning of a non-tangent curve to the right, a radial bearing to said beginning bears North 20°58'57" East to the **POINT OF BEGINNING OF MFR AREA "B"**

**THENCE** departing said west line and along said northeasterly right-of-way, 32.36 feet along the arc of a 450.00 foot radius curve through a central angle of 04°07'14";

**THENCE** North 01°02'53" East, 120.48 feet;

**THENCE** North 45°24'49" East, 405.26 feet;

**THENCE** North 51°06'55" East, 115.00 feet;

**THENCE** South  $38^{\circ}53'05''$  East, 591.86 feet to the beginning of a tangent curve to the right;

**THENCE** 81.91 feet along the arc of a 120.00 foot radius curve through a central angle of  $39^{\circ}06'38''$ ;

**THENCE** South  $00^{\circ}13'33''$  West, 226.24 feet to the beginning of a tangent curve to the right;

**THENCE** 58.54 feet along the arc of a 120.00 foot radius curve through a central angle of  $27^{\circ}57'10''$  to the beginning of a reverse curve to the left;

**THENCE** 56.05 feet along the arc of a 180.00 foot radius curve through a central angle of  $17^{\circ}50'31''$ ;

**THENCE** North  $89^{\circ}20'09''$  West, 117.80 feet to an angle point on the westerly line of the aforementioned Parcel 2;

**THENCE** departing said angle point and along said westerly line, North  $89^{\circ}20'09''$  West, 498.18 feet to an angle point on said westerly line of said Parcel 2;

**THENCE** departing said angle point and along said westerly line, North  $01^{\circ}02'53''$  East, 331.20 feet to an angle point on said westerly line of said Parcel 2;

**THENCE** departing said angle point and along said westerly line, North  $89^{\circ}20'01''$  West, 166.07 feet to the west line of said Parcel 2;

**THENCE** along said west line, North  $01^{\circ}02'53''$  East, 66.97 feet to the **POINT OF BEGINNING OF MFR AREA "B"**

Containing 10.72 acres feet of land, more or less.

**TOTAL MFR AREA** = 11.35 acres of land, more or less.

*See Exhibit "A-1" map to accompany description attached hereto and made a part hereof.*

**BASIS OF BEARINGS:** Nevada State Plane Coordinate System, West Zone, North American Datum of 1927 (NAD 27).

Gerald D. Juarez  
Nevada PLS 12140  
For and on behalf of



9850 DOUBLE R BLVD, SUITE 101  
RENO, NEVADA 89521  
(775) 746-3500

# EXHIBIT "A-1"

## LEGEND:



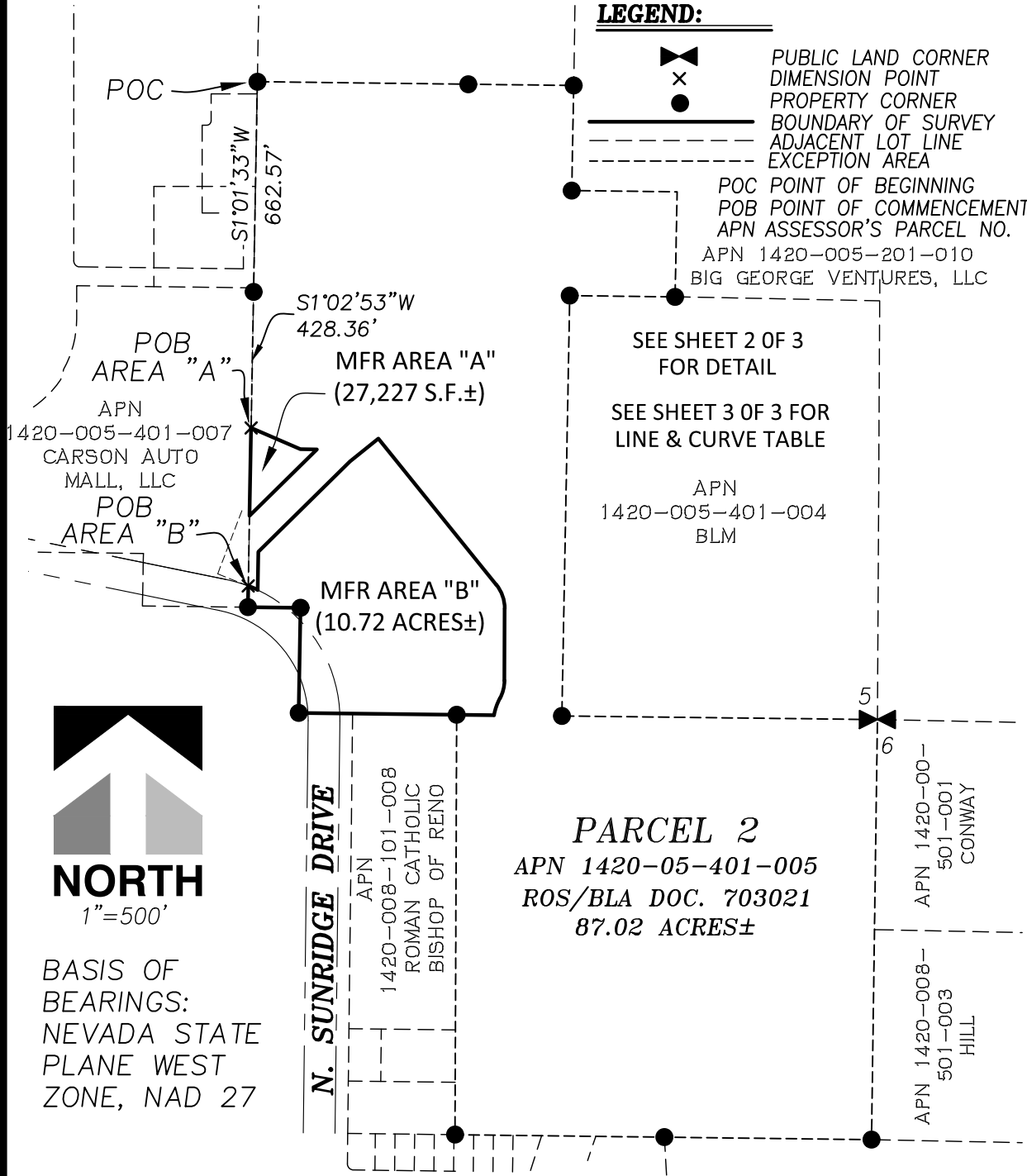
PUBLIC LAND CORNER  
DIMENSION POINT  
PROPERTY CORNER  
BOUNDARY OF SURVEY  
ADJACENT LOT LINE  
EXCEPTION AREA

POC POINT OF BEGINNING  
POB POINT OF COMMENCEMENT  
APN ASSESSOR'S PARCEL NO.  
APN 1420-005-201-010  
BIG GEORGE VENTURES, LLC

SEE SHEET 2 OF 3  
FOR DETAIL

SEE SHEET 3 OF 3 FOR  
LINE & CURVE TABLE

APN  
1420-005-401-004  
BLM



BASIS OF BEARINGS:  
NEVADA STATE PLANE WEST ZONE, NAD 27

VALLEY KNOLLS      DOUGLAS COUNTY      MFR DESIGNATION AREA

PROJ. MGR.: GDJ  
DRAWN BY: GDJ  
DATE: 2/15/18  
SCALE: 1"=500'



**Manhard**  
CONSULTING LTD. www.manhard.com  
9850 Double R Blvd, Suite 101, Reno, NV 89521  
tel: {775} 746-3500 fax: {775} 746-3520







©2008 ALL RIGHTS RESERVED

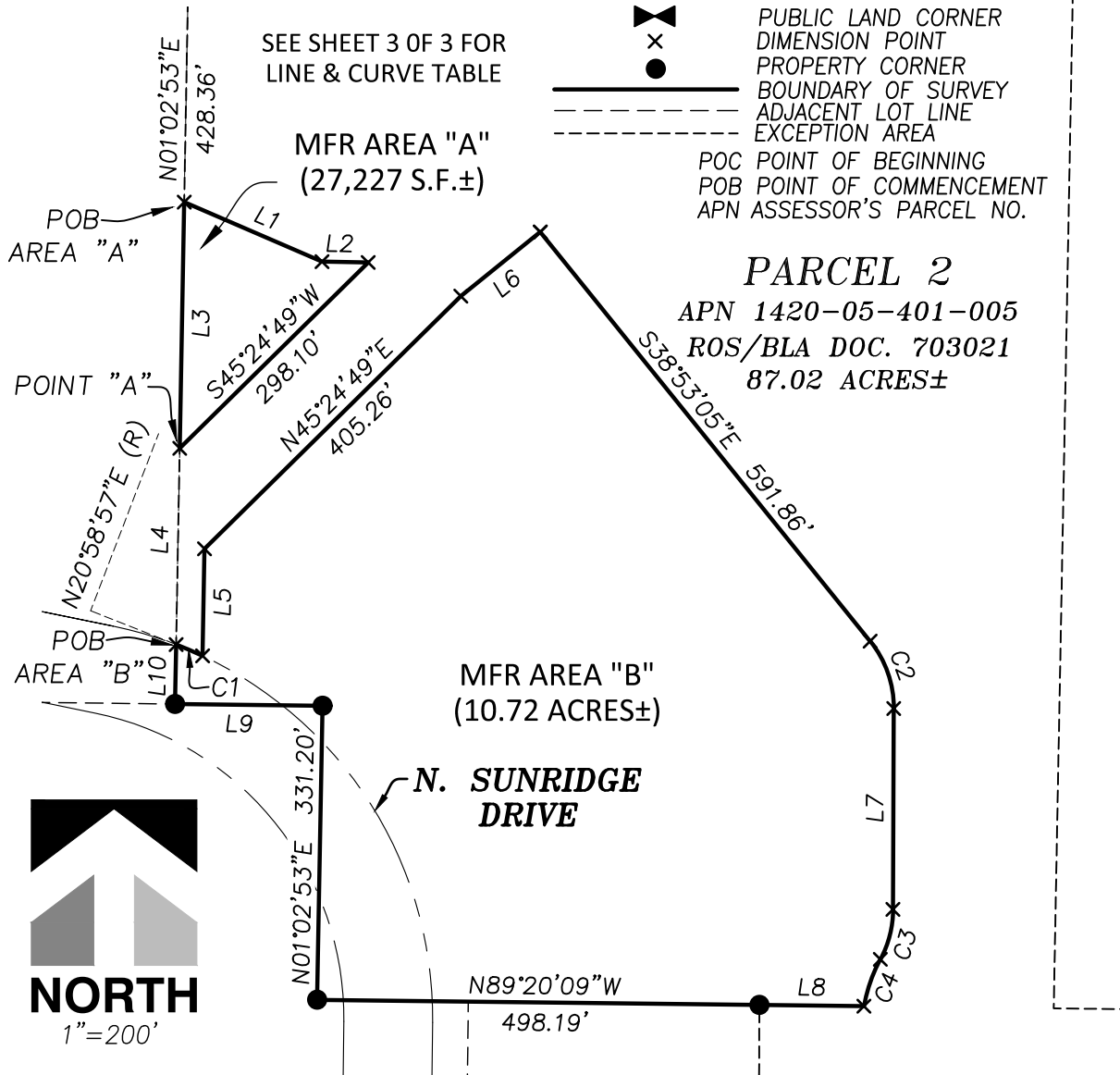
SHEET  
**1** OF **3**  
PLMDCNV 01

Attachment: Exhibit A\_A-1\_Legal Description 2-2018 (3597 : Zoning Map Amendment (DA 17-111))


# EXHIBIT "A-1"

**LEGEND:**

-  PUBLIC LAND CORNER
-  DIMENSION POINT
-  PROPERTY CORNER
-  BOUNDARY OF SURVEY
-  ADJACENT LOT LINE
-  EXCEPTION AREA
- POC POINT OF BEGINNING
- POB POINT OF COMMENCEMENT
- APN ASSESSOR'S PARCEL NO.



BASIS OF BEARINGS:  
NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1927 (NAD 27)

<b>VALLEY KNOLLS</b>	<b>DOUGLAS COUNTY</b>	<b>MFR DESIGNATION AREA</b>
PROJ. MGR.: GDJ DRAWN BY: GDJ DATE: 2/15/18 SCALE: 1"=200'	 <p><b>Manhard</b> CONSULTING LTD 9850 Double R Blvd, Suite 101, Reno, NV 89521 tel: {775} 746-3500 fax: {775} 746-3520</p>	©2008 ALL RIGHTS RESERVED SHEET <b>2</b> OF <b>3</b> PLMDCNV 01

Attachment: Exhibit A\_A-1\_Legal Description 2-2018 (3597 : Zoning Map Amendment (DA 17-111))

## EXHIBIT "A-1"

LINE TABLE		
TAG	DIRECTION	LENGTH
L1	S66°38'53"E	169.03'
L2	S88°57'07"E	52.06'
L3	N01°02'53"E	277.26'
L4	S01°02'53"W	221.02'
L5	N01°02'53"E	120.48'
L6	N51°06'55"E	115.00'
L7	S00°13'33"W	226.24'
L8	N89°20'09"W	117.80'
L9	N89°20'01"W	166.07'
L10	N01°02'53"E	66.97'

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	32.36'	450.000'	4°07'14"
C2	81.91'	120.000'	39°06'38"
C3	58.54'	120.000'	27°57'10"
C4	56.05'	180.000'	17°50'31"

VALLEY KNOLLS

DOUGLAS COUNTY

MFR DESIGNATION AREA

PROJ. MGR.: GDJ  
 DRAWN BY: GDJ  
 DATE: 2/15/18  
 SCALE: N/A



**Manhard**  
 CONSULTING LTD. www.manhard.com  
 9850 Double R Blvd, Suite 101, Reno, NV 89521  
 tel: {775} 746-3500 fax: {775} 746-3520

©2008 ALL RIGHTS RESERVED

SHEET

3 OF 3

PLMDCNV

01

Attachment: Exhibit A\_A-1\_Legal Description 2-2018 (3597 : Zoning Map Amendment (DA 17-111))

### 4.3 PEDESTRIAN PATHWAYS and CIRCULATION

#### Pathways

The NDCSP contemplates 3.5 miles of multi-use paths. Bike and Pedestrian pathways for the BGV site are included within Figure 4-6A. Multi-use pathways are intended to follow the open space areas in the North County planning area and make connections between various types of uses or designations. Connections between residential and commercial zones are very important, as are connections between residential and public facilities. Each neighborhood will connect to the pathway system by way of a spur or trailhead. Special care should be given to street crossings where the most danger exists for the user. Median refuge islands are helpful in aiding path users safely across busy streets.

The level of improvements of the facility will determine the skill level and type of the user. Pathways are intended to be improved with hard surfaces, whereas trails are intended to use softer surfacing such as decomposed granite (see Typical Walkway and Pathway Design Examples, Figures 4-7 through 4-11 in the 2000 specific plan). ~~The design of the pathways will use a Douglas County minimum standard width of 12 feet and surfacing of asphalt concrete.~~ The improvements will follow Douglas County and AASHTO guidelines for path facilities. Specific improvements for multi-purpose paths/trails will be reviewed and approved by Douglas County to determine appropriate width and surfacing type, based on location and physical constraints. Figure 4-9 depicts a multi-purpose path/trail of variable width and surfacing, appropriate for future review and approval by Douglas County.

#### Sidewalks

In general, pedestrian circulation and access will be accommodated by the roadside sidewalk network, which will be constructed as a part of all streets. Sidewalks may be on both sides of the street. The standard location of the sidewalks will be off-set from the street by a six foot buffer and landscape area. In residential areas, minimum sidewalk width is 5 feet. In accordance with the Douglas County Design Standards in commercial areas the minimum width is 6 feet. Again, special care should be given to street crossings, especially U.S. 395. Traffic signals should allow adequate time to cross and make use of possible refuge islands