



DOUGLAS COUNTY COMMUNITY DEVELOPMENT

1594 Esmeralda Ave, Ste 202, Minden, Nevada 89423

ACCESSORY STRUCTURE GUIDE

Title 20 – 20.660.150 (D); 20.664.020; 20.691.180; 20.660.010 (K)3

The purpose of this guide is to outline the general requirements for submitting and obtaining a Building Permit for an Accessory Structure.

It is your responsibility to adhere to code requirements and apply for a building permit, if required.

ACCESSORY STRUCTURE: A detached structure which is not a dwelling unit as defined in this chapter and which is accessory to and located on the same parcel as the permitted principal use. (Ord. 1182, 2006; Ord. 801, 1998; Ord. 763, 1996)

1. Any accessory structure is subject to the minimum requirements of the zoning district in which it is located; however, accessory structures less than 15 feet in height from adjacent predeveloped grade may be located 5 feet from the side or rear lot lines within the rear yard area;
2. Within the A-19, FR-19/40, RA-10 and RA-5 zoning districts, on parcels containing a minimum of 5 acres, one arch structure at driveway entrances or a maximum of two accessory structures used as gate support columns may be located 5 feet from the front property line provided they are not located within the traffic safety site area.
3. See Douglas County Code section 20.664.020 for specific standards.

ZONING CRITERIA

All zoning districts, with the exception of the Airport zoning district allow accessory structures, however a building permit is required if the structure is over 200 square feet in size. Outside of the A-19, FR, RA-10 and RA-5 districts, no accessory structures greater than 200 square feet will be permitted without a principal dwelling unit. (Ord. 1563, 2020; Ord. 1238, 2008; Ord. 984, 2001; Ord. 801, 1997; Ord. 763, 1996; Ord. 619, 1993; Ord. 618, 1993; Ord. 408, 1982; Ord. 167, 1968)

SETBACK CRITERIA

Agricultural, Forest and Range, Residential and Multi-Family Districts Minimum Structure Setback Requirements (from property lines)

(These setbacks may differ depending on your recorded map or Planned Development Standards)

Zoning District	A-19	FR-19	SFR-8,000	SFR-12,000	SFR-1/2	SFR-1	SFR-2	RA-5	RA-10	MFR
Front Yard	30'	30'	20'	20'	30'	30'	30'	30'	30'	10'
Rear Yard	30'	30'	15'	20'	30'	30'	30'	30'	30'	10'
Side Yard	20'	20'	5'	10'	10'	20'	20'	20'	20'	10'
Street-side Yard	30'	30'	15'	15'	20'	30'	30'	30'	30'	10'

Note: The shortest street frontage is the front yard regardless of street address. 10' minimum between all structures.

Note: Detached, non-dwelling structures less than 15' tall may apply a rear and interior side setback of 5' provided the structure is not within any easements.

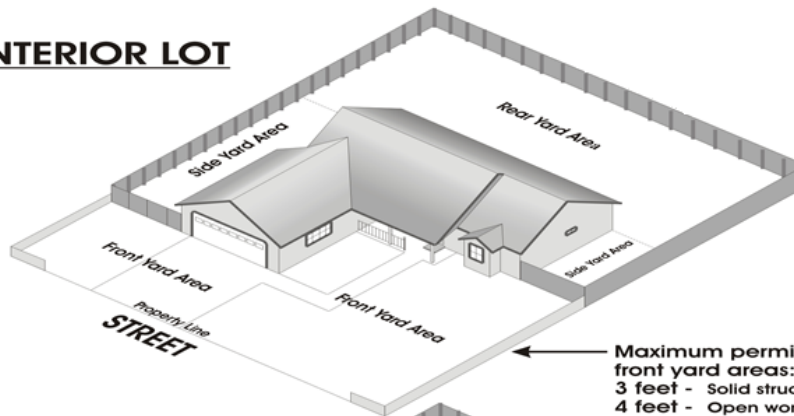
Note: Fences 7 feet and under in height do not require a building permit from Douglas County.

See Code Section [20.690.030](#) or <https://dcnvda.org/CountyCodes.aspx>

FENCE INFORMATION

Residential, Agricultural and Forest and Range Districts

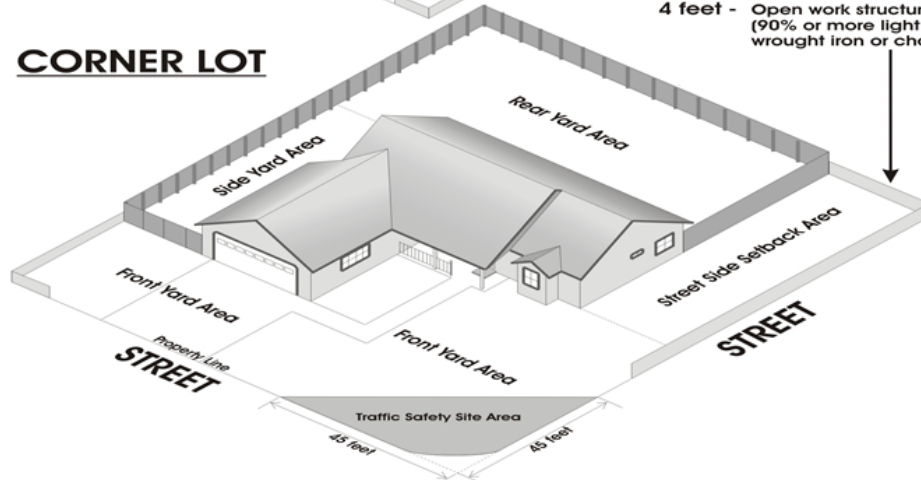
INTERIOR LOT



Maximum permitted fence height in front yard areas:

- 3 feet - Solid structures or hedges
- 4 feet - Open work structures or plants (90% or more light passage, i.e. wrought iron or chain link)

CORNER LOT



ACCESSORY STRUCTURE REQUIREMENTS

20.664.020 Accessory structures.

A. Accessory structures in residential zoning districts must be compatible with the color and architecture of the main dwelling of the property. Accessory structures may only be constructed on a lot containing a main dwelling unit.

B. Accessory structures are subject to the minimum requirements of the zoning district in which it is located. However, accessory structures less than 15 feet in height may be located no closer than five feet from the side and rear property lines within the rear yard, provided that the structures are not closer than ten feet to any other structure, or located closer than the Building Code allows, whichever is more restrictive. In areas zoned residential, no more than 50 percent of the rear yard area may be covered with accessory structures.

C. Arch structures must not exceed 20 feet in overall height.

D. Accessory structures used as gate support columns must not exceed 80 square feet of floor area and must not exceed 10 feet in overall height. Entry gates may exceed the maximum allowable height of the fencing on adjacent fence panels by a maximum of 18 inches.

E. A detached accessory structure may be located in a rear or side yard. A detached accessory structure may be located in a front or street side yard of a parcel that is a minimum of one net acre in area and is located within a zoning district with a minimum parcel size of one net acre or larger, if the following requirements can be met:

- a. The accessory structure is placed to the side of the primary residence such that it does not block the front of the primary residence as viewed from the street.
- b. Accessory structures do not cover more than 20 percent of the front or street side-yard and meet the minimum setbacks required of the zoning district.
- c. The separation between structures must meet the minimum Building Code requirements.

F. An accessory structure may contain a wet bar. An accessory structure with a kitchen is considered an accessory dwelling. Please refer to Appendix A for the definitions of “wet bar” and “kitchen.” (Ord. 1407, 2014; Ord. 1182, 2006; Ord. 1167, 2006; Ord. 957, 2001; Ord. 763, 1996; Ord 167, 1968)

20.691.180 Accessory Structures

All accessory sheds, fences, walls and other similar structures shall be erected in a skilled manner and maintained in a structurally sound condition and in good repair, so as not to be in a state of deterioration. (Ord. 1405, 2014)

ACCESSORY STRUCTURE BUILDING PERMIT APPLICATION GUIDELINES

Applications may be submitted to building@douglasnv.us. Accessory Dwelling Building Permit Applications must be accompanied with **ONE SET** of digital plans drawn to an approved Building Division scale. For information regarding building permit requirements please call the Building Development Coordinator at (775) 782-6226.

- **This will depend on the structure. Please see current General Building application for details - <https://www.douglascountynv.gov/common/pages/DisplayFile.aspx?itemId=17562439>**

Whether or not the plans require Engineering Calculations, the local current design criteria must be met (subject to updates). In effect, the structure must be designed to withstand the forces of nature and the following criteria shall be met:

International Residential Code:	2018 Edition
Seismic Zone:	IBC=D/IRC=D2 & E for some site-specific areas
Wind Speed:	Minimum basic speed 120 mph V_{ult} (refer to Design Criteria)
Exposure:	C
Snow Load:	40 PSF ground (areas below 6,000 feet elevation), 190 PSF (areas 6,000 feet elevation and above)
Frost Depth	Frost Depth: 18" minimum (areas under 6,000' elevation), 24" minimum (areas 6,000' elevation and above)
Ice Shield Required:	above 6,000' elevation

DOUGLAS COUNTY CODES AND ORDINANCES

Effective July 1, 2019, Douglas County adopted the following codes:

- 2018 International Building Code
- 2018 International Energy Conservation Code
- 2018 International Residential Code

In addition, all development is subject to the provisions of Douglas County Code. The Code (Title 20 Consolidated Development Code) is available for review at Douglas County Libraries and on the Internet at <https://dcnvda.org/CountyCodes.aspx>.

PLAN PREPARATION GUIDELINES

Construction design plans and supporting documents must be prepared, signed, and “wet stamped” by a **NEVADA** registered architect or professional engineer (as applicable for the discipline and scope of work involved). A residential designer may submit design plans for single family or multi-family (maximum 4-plex) structures as authorized by the Nevada Revised Statutes (NRS 623). The cover and subsequent sheets of each discipline must be “wet stamped” with an original signature of the design professional. In addition, the following exceptions are applicable provided that the stated conditions are met:

- A **contractor** licensed under the provisions of the Nevada Revised Statutes (NRS 624) may prepare and submit his own plans provided that the plans are signed by the contractor and meet the conditions specified in the Nevada Revised Statutes (NRS 623.330).
- As allowed under an exception to the Nevada Revised Statutes (NRS 623.330), **owner/builders** may prepare and submit their own plans for their private residential use. In order to utilize this exemption, the applicant will be required to title the plans without reference to being prepared by a party other than the property owner who is building or overseeing the building activities.

CC & Rs

Many residential lots are subject to Covenants, Conditions, and Restrictions, commonly referred to as CC&Rs. This is a private, civil agreement between the property owner, the developer and, if applicable, the homeowners' association representing the development. **Douglas County Community Development does not monitor or enforce CC&Rs;** however, each lot owner is encouraged to review their CC&Rs before submitting a permit application. **The owner is solely responsible for adhering to the CC&Rs of their community.** Many homeowners' associations have the legal authority to obtain court orders halting the construction of buildings not in compliance with the CC&Rs.

FREQUENTLY USED PHONE NUMBERS

Zoning and Setbacks Planning Division	775-782-6217
Permit Requirements and General Code Information Building Division	775-782-6224
Water and Sewer Designations, Flood Zones Engineering Division	775-782-6238
Code Enforcement	775-782-6214
USA DIG	800-227-2600
Tahoe Regional Planning Agency	775-588-4547
Gardnerville Ranchos GID	775-265-2048
Gardnerville Town Water	775-782-2339
Minden-Gardnerville Sanitation District	775-782-3546
Indian Hills GID	775-267-2805
State of Nevada Division of Water Resources (Well Information)	775-684-2800
State Contractors Board	775-688-1141
State Engineer's Board	775-329-1955
State Architect's Board	702-486-7300
Douglas County Building Industry Association	775-783-1782
State Manufactured Housing	775-687-5500

County Codes: <https://dcnvda.org/CountyCodes.aspx>

Application & Fees: <https://www.douglascountynv.gov/cms/one.aspx?pagelid=12582622>

GIS Viewer: <https://douglasnvgis.maps.arcgis.com/home/index.html>

FEMA Maps: <https://msc.fema.gov/portal/home>

Please note that a response by Douglas County Community Development staff in person, to a phone call or an e-mail does not constitute an approval of any application. We strongly encourage you to consult with a legal or real estate professional if you have concerns about whether your proposed actions are appropriate under the laws of Nevada or the Douglas County Code.