



CLEAR CREEK TAHOE

**CLEAR CREEK TAHOE  
SPECIFIC PLAN**  
Douglas County, Nevada

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PD 03-004

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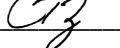
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## 1.1 PURPOSE AND INTENT

It is the purpose of the Specific Plan to provide for the innovative design and quality development of the Clear Creek Tahoe community, integrating residential uses and a golf course into the overall community fabric and the preservation of the mountain forest setting. The Specific Plan is further intended to provide assurances that unique land development techniques and solutions employed within the plan will be given reasonable consideration for approval. It also provides the County with assurances that the completed project will contain the character envisioned at the time of approval, while remaining in compliance with the Douglas County Master Plan and Municipal Code.

## 1.2 COMMUNITY VISION AND GUIDING PRINCIPLES

### 1.2.1 Community Vision

The success of Clear Creek Tahoe depends on the ability to sensitively incorporate its natural environment. The serene Tahoe forest setting is preeminent in attracting homebuyers to the upscale golf community. Because of this intrinsic dependence on its natural beauty, all of Clear Creek Tahoe's development proposals reflect an uncompromised ecological sensitivity. Narrow streets, minimal site grading, forest preservation, and protection of off-site as well as house-to-house views are some of Clear Creek Tahoe's highest design priorities. A resident of Clear Creek Tahoe will immediately appreciate its enthusiasm and dedication to the environment; they will know that they live in a community constructed with the utmost care for its pinnacle asset - its nature.

### 1.2.2 Guiding Principles

A foundation of three Guiding Principles have been established to guide the design process and achieve the overall goals set by the community vision.

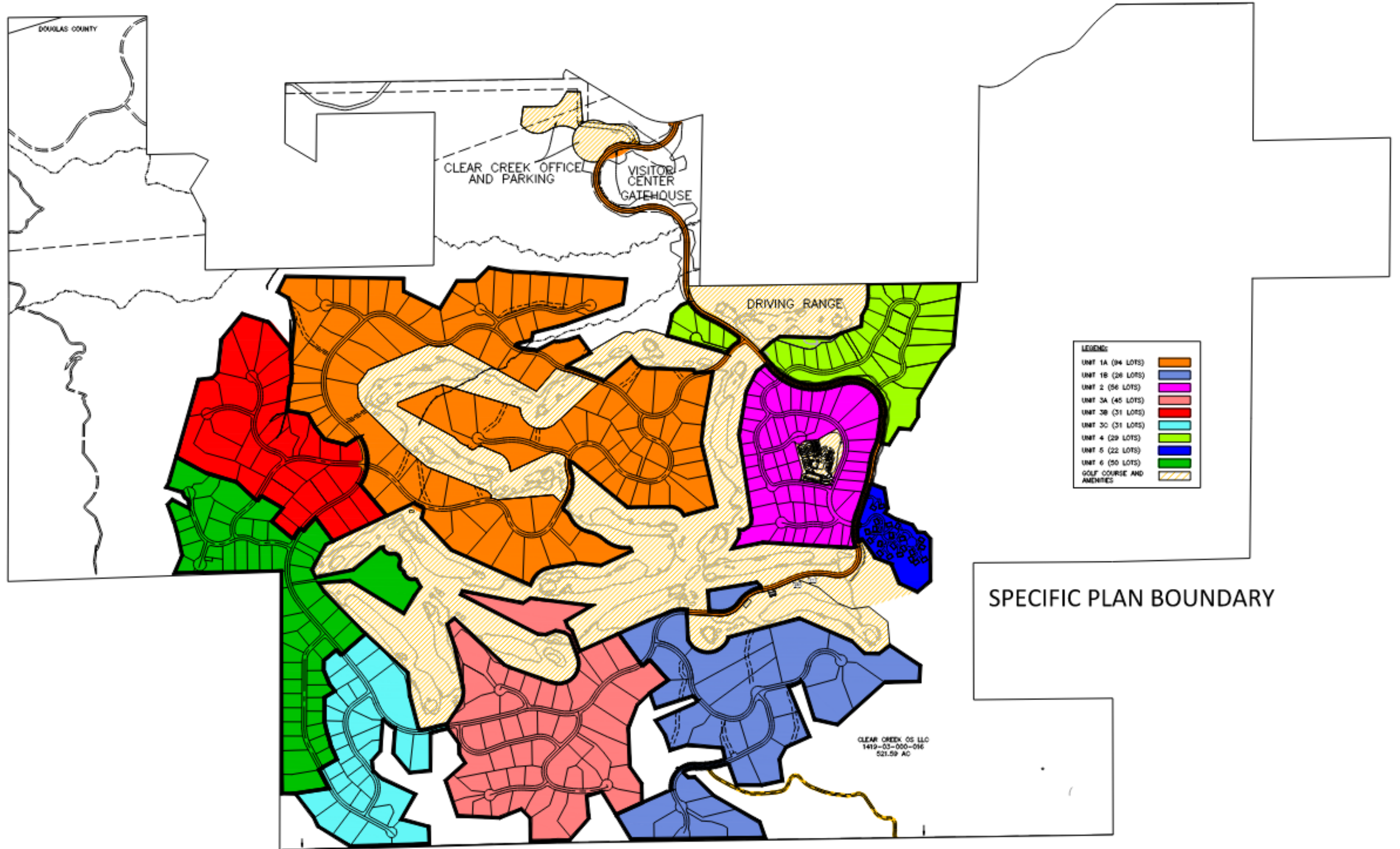
**Sense of Place.** A sense of place is created when activities, built forms, and the existing environment are integrated into one, to create a sense of structure and identity. The Clear Creek Tahoe community is cast within the natural forest setting with the feeling of solitude, retreat and individualism. One of its kind, the streetscapes flow naturally along the changing landform with grace and elegance, the golf course is integrated into the mountain forest much like the arrival to an open meadow, and the landscaping is kept minimal to announce and emphasize areas of significance. Furthermore, the custom

architecture of the residential lots and those materials proposed for the community facilities enhance the unique character of the community by integrating the boulders and rock outcrops existing on-site.

**Environmental Sensitivity.** Environmental sensitivity encourages a "whole systems" approach to achieve higher levels of economic, environmental, and social/health benefits compared to conventional approaches. The Clear Creek Tahoe community design is cognizant of the importance and benefits of efficiency, energy, and capital costs savings. It is designed to preserve wildlife corridors, propose minimal grading, and preserve trees while enhancing the health of the existing forest with the assistance of a forester. Furthermore, Clear Creek is respected along with the preservation of existing hydrology, "allowing natural systems to function as they are highly efficient, and let nature do the work."

**Recreation, Health & Wellness.** Recreation, health and wellness promotes a holistic approach to a healthy lifestyle and community wellness, by planning and designing communities that provide the infrastructure and environment that promotes a healthier, more fulfilled life. In addition to the integration of an 18-hole golf course that initiates the association of recreation within the Clear Creek Tahoe community, a golf course clubhouse combined with a community recreation center is planned to further encourage proactive recreation, and community gathering and activity. A number natural trails are intricately woven into the community to provide pedestrian connectivity to community facilities, vistas, and trail courses for walking, hiking and biking.

SECTION ONE. INTRODUCTION







### 1.3 PROJECT OVERVIEW

The Clear Creek Tahoe community is a residential enclave of 384 golf course homes, predominantly custom sites and nestled within a natural forest setting. The integration of this community into the natural environment is respectful of the sloping landforms and abundant vegetation, which are a fundamental component of the Clear Creek Tahoe community character and lifestyle. Clear Creek Tahoe has been designed to make the most of the tranquil lifestyle and recreational opportunities that the forest and creek area can provide. The 18-hole championship golf course is thoughtfully designed to blend seamlessly with the topography of the land, while the careful placement of homes minimizes impacts to valuable views. The classic design of the clubhouse creates a distinctive sense of place and acts as a focal point, serving the community as a central core of activity.

The Clear Creek Tahoe Specific Plan is the mechanism that outlines the customized land use and design standards developed for the community. These standards will ensure that the community retains a distinctive character and to ensure issues unique to this site are addressed in a context-sensitive manner.



## SECTION ONE. INTRODUCTION

### 1.4 ADMINISTRATION AND AUTHORITY

#### 1.4.1 ADMINISTRATION

Projects within the Clear Creek Tahoe Specific Plan will be subject to the provisions outlined in Chapters 20.608 Amendment to Master Plan, 20.610 Zoning Administration, 20.612 Specific Plan, 20.614 Design Review, and 20.608 Special Use Permit. A more detailed overview of the entitlements that will be processed concurrently is provided below.

**Specific Plan.** A Specific Plan is a customized set of policies and regulations tailored to address the unique issues and infrastructure requirements of a particular area. The purpose of a Specific Plan for the Clear Creek Tahoe property is to provide comprehensive planning for a large-scale residential and private recreation project, as well as sufficient guidance and detail concerning project design. If the Clear Creek Tahoe Specific Plan is silent in relation to any development or design standards, the zoning standards identified in Title 20 shall prevail. The Development Code shall apply to any applicable standard or regulation not covered by this document.

The Specific Plan, including the plot plan, architectural and landscape design of the Clear Creek Tahoe project, will be reviewed by the Design Review Committee (DRC) as part of the submittal process.

**Master Plan Amendment.** The Clear Creek Tahoe Specific Plan (CCTSP) must also be consistent with and implement the County's Master Plan. The current Master Plan designation for this site is Agricultural. The Clear Creek Tahoe Specific Plan will be accompanied by a Master Plan Amendment involving land use and map modifications. The existing "Forest and Range" and "Agricultural" land use designations will be changed to "Future Development and Receiving Area (RA)" for the Specific Plan area. The Future Development and Receiving Area designation will provide for the expansion of development at urban densities. The density allowed by the current zoning (1 du/19 ac) will be increased through the transfer of development rights to this area, and as a result, new development will be consistent with the new zoning designation. The predominant use of the Clear Creek Tahoe project is residential and golf course use, which is consistent with the intent of the RA designation as outlined in the Master Plan.

**Planned Development (PD) Overlays.** The Clear Creek Tahoe project will be implemented as a planned development pursuant to Chapter 20.676 of the County Development Code (the "Code"). Under the provisions of the code, the Planned Development Overlay ("PD Overlay") is intended to provide a method of comprehensive planning for smaller, less complicated development projects than are typically processed with a Specific Plan. The current zoning for this site is A-19, agriculture with one dwelling unit per every 19 acres. The new zoning would allow for residential and private recreational uses.

In this instance, the Clear Creek Tahoe Specific Plan will essentially institute five new zoning designations on this property:

- Single Family Residential (SFR-1)  
Golf Estates
- Single Family Residential (SFR-1/2)  
Golf Lodges
- Golf Cottages (SFR-8,000)
- Private Recreation (PR)  
Golf Course, Clubhouse, Proshop,  
Restaurant, Clubhouse Lodging
- Agricultural (A-19)  
Forest and Range/Conservation

The Master Plan Amendment will also facilitate the amendment of the base zone district to accommodate the new residential and recreational zoning designations.

**Design Review.** The clubhouse and golf course component of the CCTSP will be subject to Design Review by the County Planning Commission. It should be noted that the majority of the project consists of single-family residential development, which is exempt from design review provisions per Section 20.614.010 B5.

**Special Use Permit.** Special Use Permit is required for the golf course and lodging as they are compatible with the proposed land uses but require individual review of their location, design, and configuration.

**Tentative and Final Subdivision Map.** A tentative subdivision map for 384 units accompanies the Specific Plan, which ultimately will be approved via a final subdivision map in compliance with Section 20.708.



**1.4.2 AUTHORITY**

The Community Development Director will be responsible for administering the provisions of the Clear Creek Tahoe Specific Plan. Where there is a question of ambiguity regarding the interpretation of this Specific Plan, the Community Development Director has the authority to interpret the intent of such provision. The Director may, at his/her discretion, refer interpretations of the Specific Plan to the Planning Commission for its consideration and action. Such a referral shall be accompanied by written analysis of issues related to the interpretation. The Planning Commission action may be appealed to County Board of Commissioners.

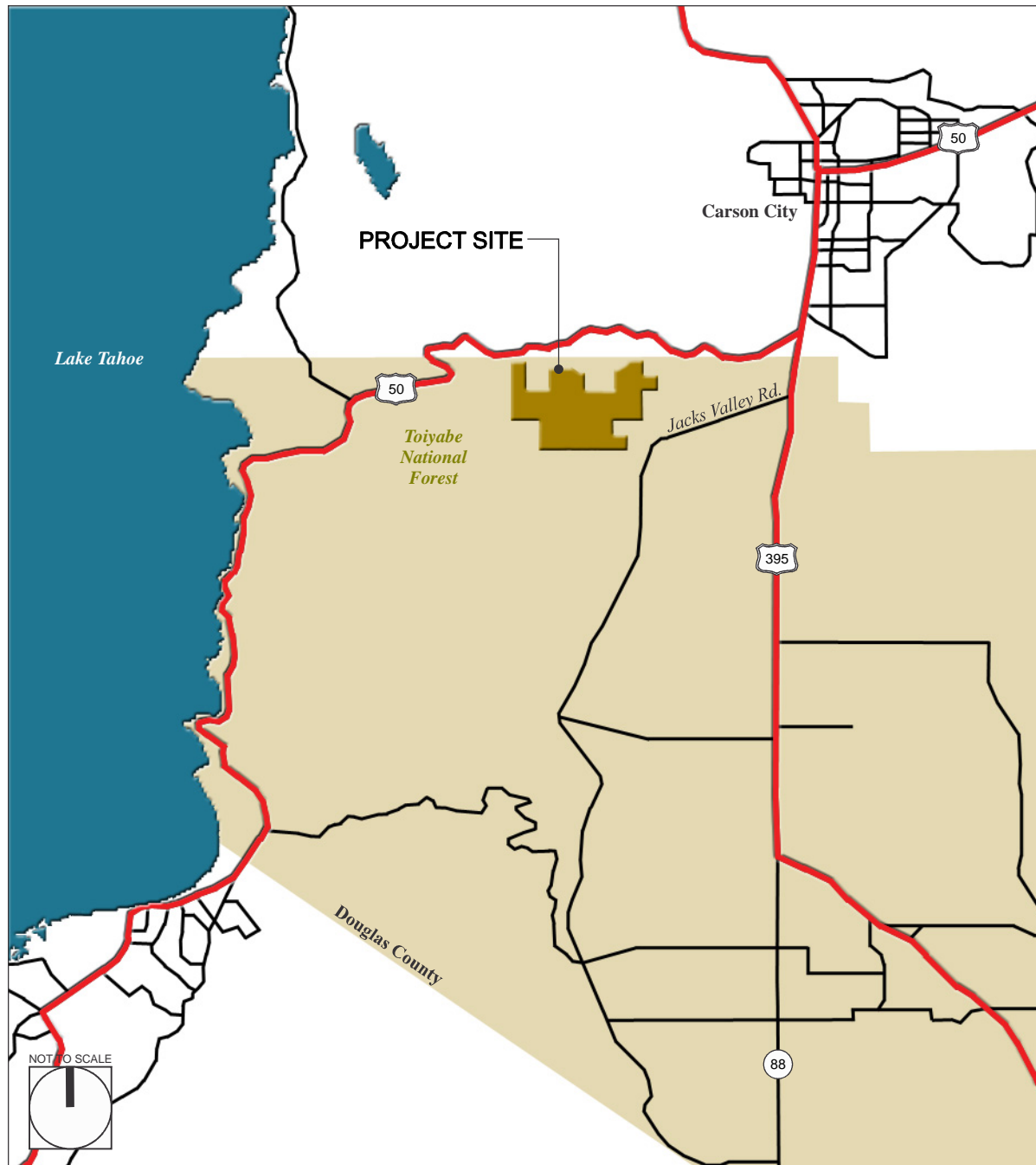
The Clear Creek Tahoe Home Owner's Association (HOA) and or Design Review Committee (DRC) not Douglas County, will be responsible for the administration and enforcement of the design standards contained in this Specific Plan.

## SECTION ONE. INTRODUCTION

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### 2.1 PROJECT LOCATION

The Clear Creek Tahoe property is nestled within the natural forested landscape of the eastern flank of the Sierra Nevada Mountain Range, centrally between Lake Tahoe, California and Carson City, Nevada. Located in the Douglas County jurisdiction, the property is bordered by Old Clear Creek Road (Old Highway 50) to the north, Carson Valley to the east, Jacks Valley Ranch to the south, and lands of the Toiyabe National Forest to the west.

EXHIBIT 2: REGIONAL LOCATION MAP

## 2.2 SITE CONTEXT AND CONDITIONS

Clear Creek Tahoe is comprised of approximately 1,576 acres of predominantly forested land, with the exception of a significant alpine meadow area on the north side of the property. The land was logged in the past and the remnants of cut timber exist on site, amongst the abundant Jeffrey pines and periodic rock outcroppings. The following continues a detailed discussion of the property's opportunities and constraints based on a site analysis of: landform, geology, hydrology, surrounding uses, and project site accessibility. Refer to Exhibit 3: Opportunities and Constraints Map, on the opposite page for a mapping summary of the information.



### 2.2.1 Landform

The property has variable landforms that provide a number of opportunities to create a unique community. It is saddled within two mountain peaks to the east and west, with a broad east trending ridgeline at the west and central portions of the property. The topography of the saddle gently rises and descends from the southern edge of the site into an open, alpine meadow, after

which the landform continues to ascend up to Highway 50. The elevation ranges between 5,500 to 5,800 feet, with dramatic views of Carson Valley and the Jacks Valley area below. Furthermore, there are pockets of relatively flat, developable lands that exist within the core of the property, providing suitable terrain for the clustering of golf course and residential housing elements. Combined with a fairly dense forest and an exciting landform, the site is conducive for development while protecting the scenic views from off site.

### 2.2.2 Geology

The geologic conditions of the site are mostly underlain by Hornblende-biotite granodiorite, an intrusive granitic rock. On the slopes north of Clear Creek are colluvial and stream deposits that extend for roughly one mile along the course of the Clear Creek and roughly 1,500 feet north of the creek. Preliminary site reconnaissance of this area indicates that portions of this unit are probable wetland areas with moderate to high plasticity clays extending to approximately 1.5 feet below the existing surface. Bedrock outcrops also occur on steeper slopes and in canyon bottoms throughout the central and southern portions of the property, in addition to isolated boulders located within streambeds and on flat ridge tops.

The project site is located in an active seismic area along the eastern Sierra frontal fault system, within UBC Seismic Zone 4 where lies the north trending Genoa fault and two west trending faults in the Quaternary colluvium deposit north of Clear Creek.

Locally referred to as the Genoa fault, a major normal fault, traverses the site in a northerly direction along the western portion of the



property, approximately 1,500 feet from the west property boundary. The Genoa fault transects north along the base of the Carson Range forming the contact between the bedrock and valley alluvium, northwest through Bennett Canyon, northward a couple hundred feet west of the head of Clear Creek, to Clear Creek Road. Two active faults within the colluvium material north of Clear Creek, trend in a westerly direction for approximately 2,000 feet and 1,000 feet respectively. The offset distances of these faults are approximately 8 to 10 feet high, and are associated with numerous springs along their entire length. Lastly, the Earthquake Hazards Map indicates a possible fault near the eastern portion of the property depicted trending northeast for approximately 1,200 feet.

Slope stability and the possibility of large scale landslides and debris flows are considered low due to the general topography and the competent nature of the soil materials and bedrock. Slope stability issues associated with the Genoa fault and those areas identified as susceptible to possible flood and debris flows, are of more concern. The primary flood hazard areas are immediately adjacent to Clear Creek.



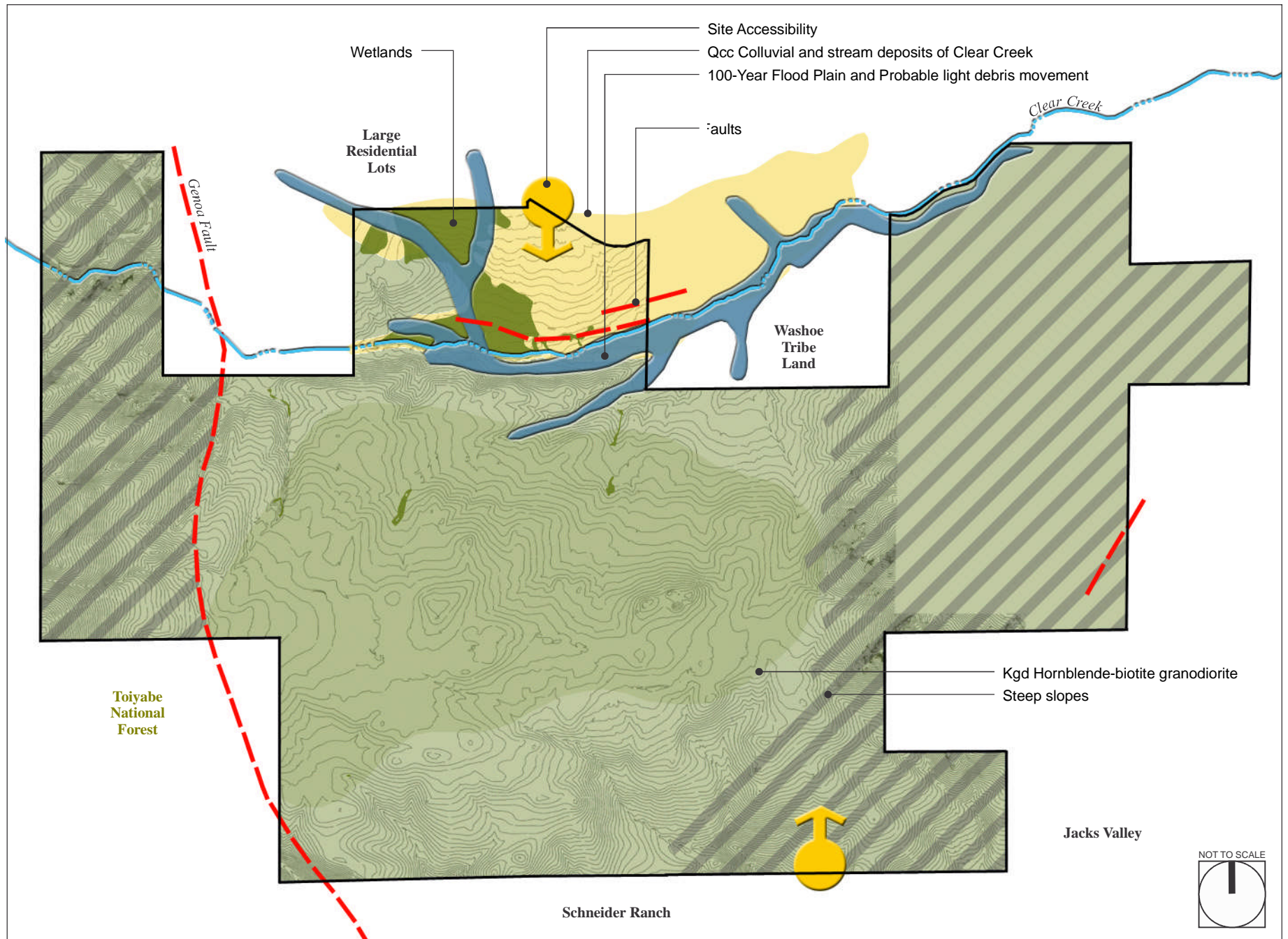


EXHIBIT 3: OPPORTUNITIES AND CONSTRAINTS MAP





The predominant soil type on the property is the “Corbett-Toiyabe” association soil, a loamy coarse sand. Other soil types are also present in smaller percentages, a majority of which are very stony, loamy, coarse sand with rock outcrops. In the area adjacent to Clear Creek, the surface soils are generally a gravelly sandy loam underlain by gravelly, loamy coarse sand. Hazards associated with soil liquefaction are not expected due to the soils present in the portions of the site planned for development, which are expected to be in a medium dense to dense condition with groundwater not present or only present during certain times of the year.

**2.2.3 Hydrology**

Surface water is present in Clear Creek, which bisects the northerly quarter of the property, flowing west to east through a meadow area that further enhances the aesthetic quality of the land. Portions of the site on the northern half of the property, drain towards Clear Creek, whereas areas to the south drain into Jacks Valley near the Jacks Valley Ranch and developed subdivisions west of Jacks Valley Road. In the low-lying Quaternary colluvium area north of Clear Creek, exist numerous year-round springs. Numerous irrigation ditches also transect this portion of the property and distribute spring water to the meadows. FEMA has designated the areas immediately adjacent to Clear Creek to be within a 100-year flood plain zone.

Two areas across the Clear Creek Tahoe property have been identified to exhibit characteristics of jurisdictional wetlands. Wetlands are areas inundated or saturated by surface or groundwater at a frequency and duration sufficient to support a prevalence of vegetation typically adapted for life in saturated soil conditions. The wetlands within the project area have been identified as nontidal,

palustrine, emergent persistent wetlands. Most of the vegetation within these areas are dominated by Baltic rush and a multitude of sedge species. Furthermore, their hydrology is for the most part, surface discharge of intercepted perched ground water, except for one area, where the hydrology appears to be high ground water and the sheet flow of many springs. Portions of the hydrology of these areas are intermittent and perennial.

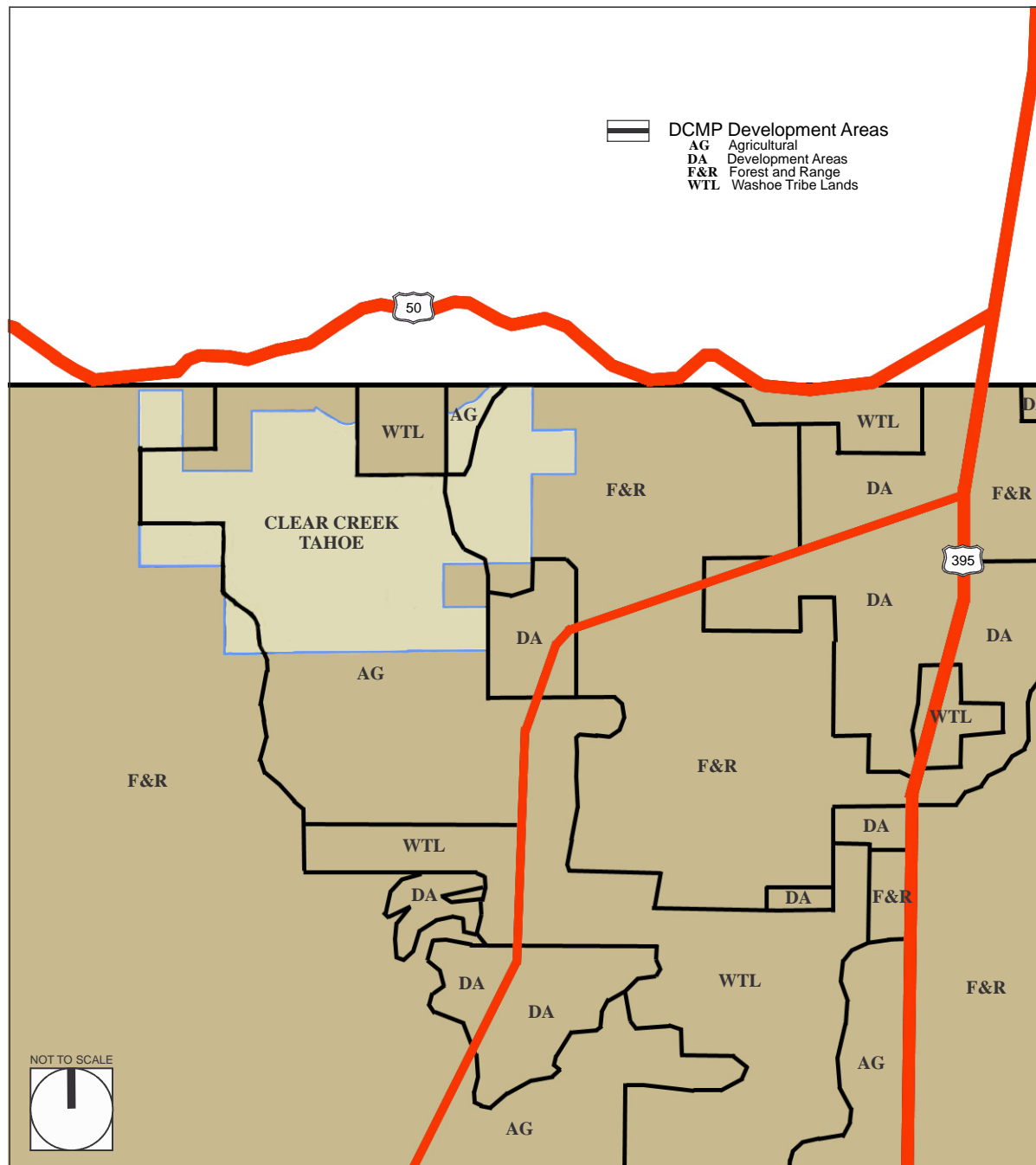
**2.2.4 Surrounding Uses**

The property is surrounded by favorable edge conditions and land uses. To the west, the property borders and transitions without notice into the Toiyabe National Forest, whereas the steep slope conditions that rise and peak to the east, descend gently down to the Carson Valley, Jacks Valley area and US Highway 395. Due southeast, sit large residential homes of the Alpine View Estates and the beautiful, agricultural Schneider Ranch property. On the north edge, the site sits adjacent to existing newer and older, large residences that are accessible from Old Clear Creek Road (Old Highway 50), and an adjacent parcel of Washoe Tribal Land.

**2.2.5 Accessibility**

The property is most conveniently accessible through two existing access points from the north and south sides, due to the severity of the slopes and open space forest uses on the eastern and western edges. On the north side, the site is accessible from a connector road from Highway 50 to Old Clear Creek Road, while to the south, Bavarian Drive provides an alternative route from Jacks Valley Road. On-site however, the property is crisscrossed by old ranch and logging roads.





2.3 EXISTING LAND USE DESIGNATIONS

The Douglas County existing Master Plan designation for the property is comprised of 384 acres of Forest and Range and 1,180 acres of Agricultural. Most of the site has been designated agriculture, as the property has been previously used for logging activities. Where slopes are too steep and land is inaccessible to the east and northwest of the property, these areas have been left open as Forest and Range.

TABLE 1: CONFORMANCE LAND USE SUMMARY

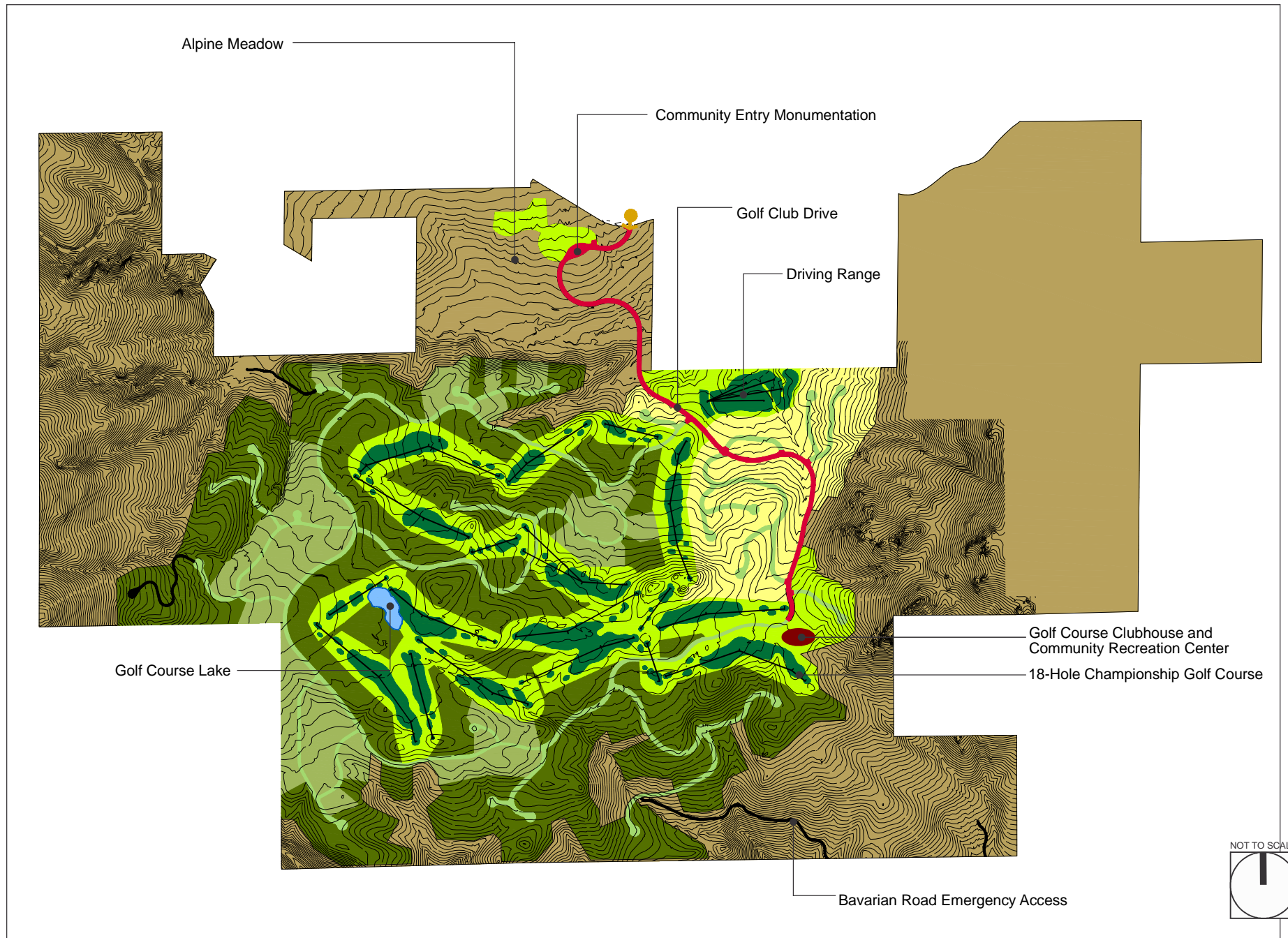
	Existing Douglas Co Master Plan	Proposed Clear Creek (Gross Acs)
<b>Land Use Totals</b>		
<b>Golf Estates</b>		<b>260.98</b>
<b>Golf Lodges</b>		<b>94.12</b>
<b>Golf Cottages</b>		<b>70.78</b>
<b>Road Infrastructure</b>		<b>56.35</b>
<b>Common Areas</b>		<b>40.35</b>
<b>Private Recreation</b>		<b>199.94</b>
<b>Agricultural</b>	<b>1179.91</b>	
<b>Forest and Range/ Conservation</b>	<b>396.21</b>	<b>853.60</b>
<b>Total</b>	<b>1576.12</b>	<b>1576.12</b>

### 2.4 COMMUNITY STRUCTURE

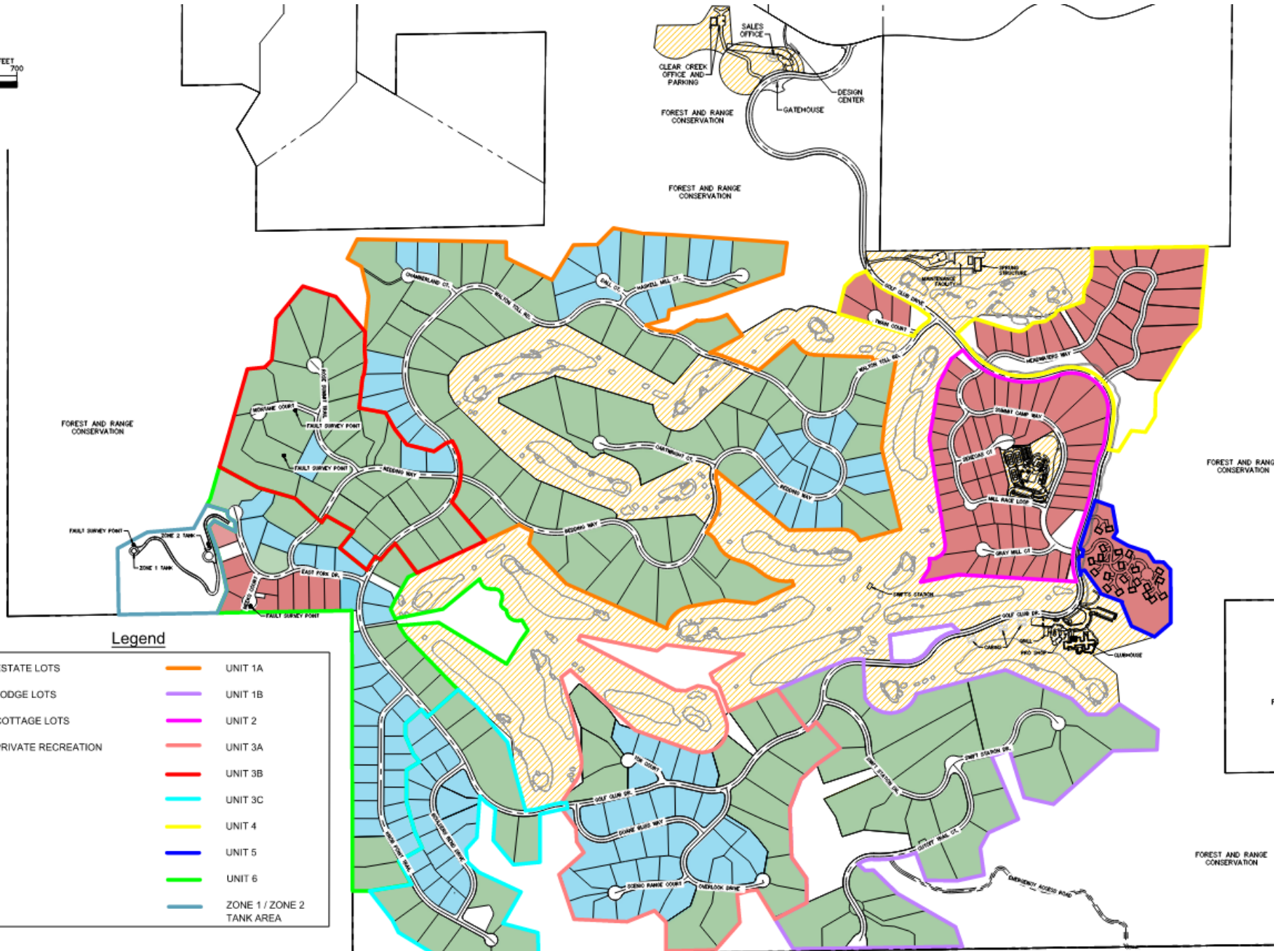
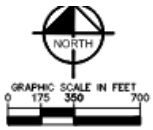
Clear Creek Tahoe is a secluded mountain golf course community with limited land use complexity. The project is designed to maximize lifestyle as the golf course and home sites are orchestrated to compliment one another. As has been described in the landform description (2.2.1 Landform), the bulk of the property lies atop a saddle between two significant mountain peaks. The northern portions of the property are constrained by springs, wetlands, Clear Creek and its associated wet meadow. The plan takes advantage of the presence of these unique physiographic features to serve as the entry statement for the community. Procession to the Clubhouse and activity core of Clear Creek Tahoe was an important consideration for the community structure. Arrival at the gatehouse, views of the meadow, and crossing the bridge over Clear Creek define the initial impression of the community. Approaching the center of the project, land use intensifies slightly as lodging surrounds the community clubhouse and golf course pro-shop. The remainder of the project is designed to accentuate the interplay between landform, golf course, and home sites that are given strategic views of mountains, valleys and golf holes. The community is organized by a loop-road system with a series of cul-de-sac and residential street emanating there from. The soul of the community is derived from the interplay between the built and the natural, and the pedestrian network that provides connectivity to the clubhouse, residences and open space.







# SECTION TWO. COMMUNITY PLAN



### Legend

	ESTATE LOTS		UNIT 1A
	LODGE LOTS		UNIT 1B
	COTTAGE LOTS		UNIT 2
	PRIVATE RECREATION		UNIT 3A
			UNIT 3B
			UNIT 3C
			UNIT 4
			UNIT 5
			UNIT 6
			ZONE 1 / ZONE 2 TANK AREA



**2.5 LAND USE CONCEPT**

Land Use is categorized into non-residential and residential uses. The non-residential uses consist of private recreation and open space. Residential uses fall within three distinct product types and density ranges.

The Private Recreation land use will include a championship golf course, pro-shop, community clubhouse and recreation facility, lodging and guest accommodations. The golf course, which will be private and exclusive to club members, will serve as the visual backdrop for the lifestyle offered at Clear Creek Tahoe. The community clubhouse will contain amenities for the golfer and resident alike.

Much of the property will be designated as permanent open space. Open space will support passive recreational activities, provide and protect wildlife habitat and movement, and contribute to the serene character of Clear Creek Tahoe.

The golf estates are a collection of secluded home sites, carefully orchestrated into the forest canopy. The golf estates consist exclusively of custom homes, and therefore it is anticipated that a high degree of variety will be achieved. Homebuyers are encouraged to explore diversity within parameters set by the architectural guidelines. Buildable zones will be prescribed for each lot to maximize privacy, respect landform, celebrate views, and create ideal microclimates. Fences on property lines are prohibited and manicured landscape is limited resulting in a low impact environment designed by nature.

The golf lodges are groupings of custom homes on sites which have been carefully placed within their forested surroundings. A degree of variety and character is expected within the golf lodges, and therefore it is anticipated that a unique gathering of homes will be achieved. Again, homebuyers are encouraged to explore diversity within parameters set by the architectural guidelines. Building envelopes will be situated on each lot to optimize the natural characteristics of the native landscape. Property line fences are prohibited and manicured landscape areas are minimized to further enhance the natural surroundings.

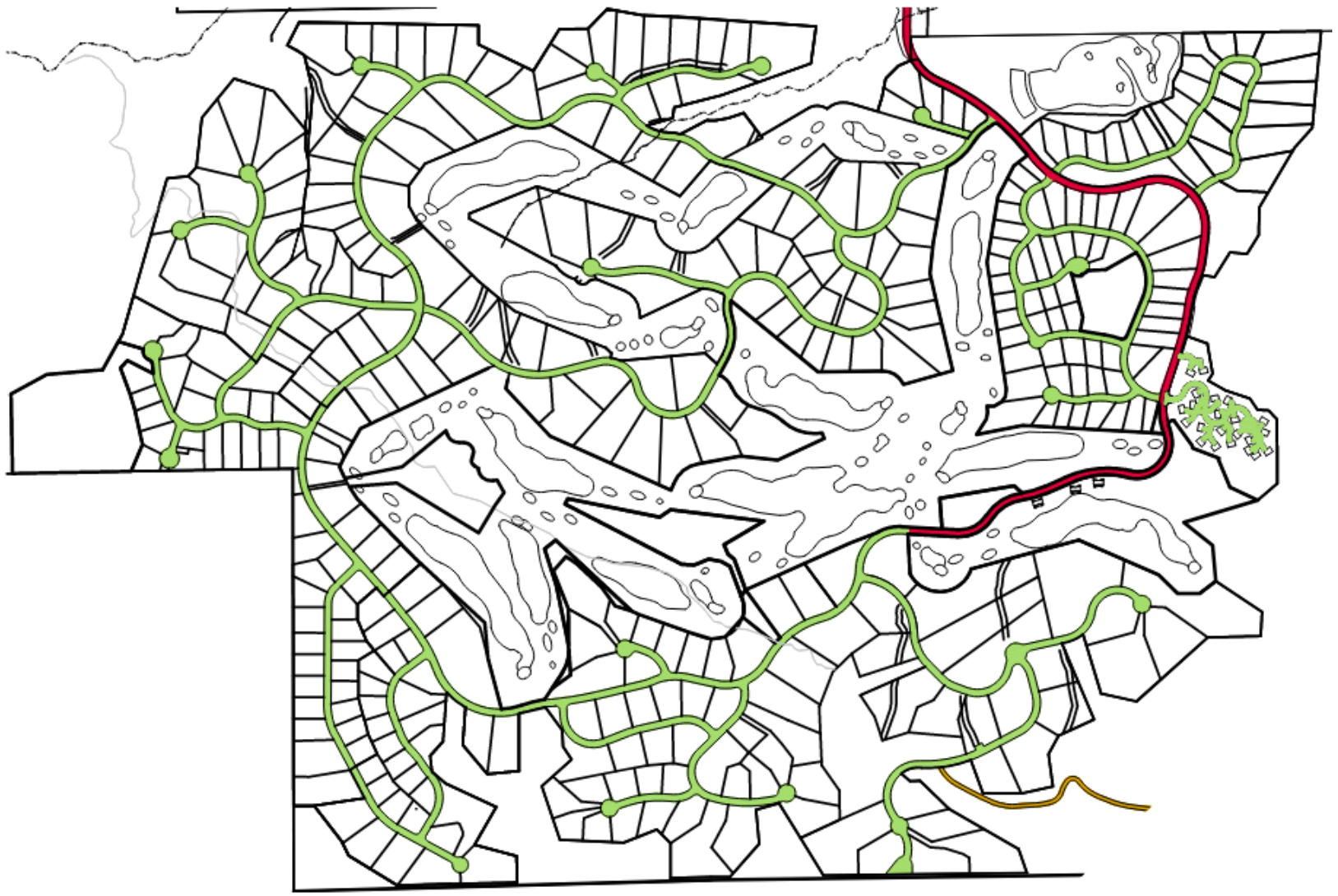
The golf cottages are smaller homes on lots that are clustered together in enclaves. These areas will have a distinct neighborhood feel and enjoy a rich street scene. The golf cottages are placed in close proximity to community amenities. Landscaping will play a more pronounced role in the aesthetic quality of the cottages. Because lots are smaller the natural quality and random arrangement of plant material will be less pronounced and replaced by a more formal composition of native plant materials.

TABLE 2: CLEAR CREEK TAHOE LAND USE SUMMARY

<b>LAND USE SUMMARY</b>		
<b>AS PROPOSED</b>		
<b>*CLEAR CREEK TAHOE*</b>		
<b>Residential Uses</b>	<b>Gross Acres</b>	<b>Total Lots</b>
Golf Estates	260.98	150
Golf Lodges	94.12	117
Golf Cottages	70.78	117
Common Areas	28.95	N/A
Total Road Infrastructure <sup>a</sup>	56.35	N/A
<b>Subtotal</b>	<b>511.18</b>	<b>384</b>
<b>Non-Residential Uses</b>	<b>Gross Acres</b>	<b>Units</b>
Private Recreation <sup>b</sup>	199.94	N/A
Other Common Areas <sup>c</sup>	11.40	N/A
Forest and Range/ Conservation	853.60	N/A
<b>Subtotal</b>	<b>1064.94</b>	<b>0</b>
<b>Grand Total</b>	<b>1576.12</b>	<b>384</b>

Notes: a. Not including roads in Unit 5 or Emergency Access Road  
 b. Includes driving range, golf course, clubhouse, design center, Golf Course Office and Parking  
 c. Includes Zone 1 and Zone 2 Tank Area





## 2.6 CIRCULATION CONCEPT

The Clear Creek Tahoe development will provide access to the community from a proposed private access roadway intersecting Old Clear Creek Road to the north, and continuing on to an interchange on U.S. Highway 50. A gated emergency access will be provided from Bavarian Drive to the south, as an alternative point of access to the property in case of emergency.

Way-finding is an important component in community building. The best communities are based upon a hierarchical street system. The internal circulation in Clear Creek Tahoe will consist of three distinct street sections. Primary in the hierarchy is Golf Club Drive. This main access road will enter the project from the north as described earlier and proceed southward across the project and terminate just beyond the clubhouse. Secondary in Clear Creek Tahoe are the residential streets. They will be organized into a community loop road, residential streets, and cul-de-sacs. Tertiary will be driveways and emergency access drives. Only a few lots will receive their means of access from extended driveway situations.

The character of the circulation system reflects the sensitive approach to development. Roadways will be designed as minimal ribbons of pavement that meander across the landform. As a result of narrow widths and small turn radii, travel speeds will decrease and memory points will increase. When grading is necessary, rockery walls with terraced re-vegetation will be used to mitigate any negative impact. The end result will be a system of corridors that preserves natural character, and communicates the idea that the site is more important than the roads.

Due to the low density and intensity of the project, it is anticipated that trips generated will be minimal. Due to the “members only” requirement of the on-site private golf course, approximately 80% of the golf trips will be made by the residents of Clear Creek Tahoe. The Clear Creek Tahoe development is anticipated to have a lower yearly occupancy rate than typical single family homes in a suburban subdivision, further emphasizing the low level of vehicular traffic that is anticipated to occur as a result of this project.

The Traffic Analysis for Clear Creek Tahoe examines the impacts that the project will create on traffic in much greater detail and should be referenced as a resource document. The analysis indicated that there was no knowledge of any approved projects that would add traffic to the key intersections analyzed in the study, but there was development potential for lands adjacent to the project. Approximately 35 single-family dwellings were anticipated for the adjacent land, which, in and of itself, would not create significant traffic issues for the area.

The traffic generated by the Clear Creek Tahoe project will have some impact on adjacent roadways but can be mitigated through striping, signing, and traffic control improvements outlined in the traffic analysis. Additional recommendations in the traffic analysis address cul-de-sacs and improvements to the U.S. Highway 50/access road interchanges.

2.7 VIEW ANALYSIS

Clear Creek Tahoe is specifically designed as a secluded golf-course community that is hidden from off-site views as well as internally from house-to-house. The unique “saddle” landform provides a natural barrier to off-site views and the dense forest further nestles the homes in amongst the terrain. All design criteria and guidelines are selected to support this fundamental objective, as the success of the project is intrinsically dependent on its ability to create a serene and rural lifestyle for its residents.

The following view analysis demonstrates the protection of off-site views using computer generated viewshed models and simulations. Five locations are chosen to explore the widest range of possible vantage points from surrounding areas. In each case, the simulations show the viewable area generated by topographic interference only, without considering the additional screening that over 10,000 on-site trees and project landscaping will provide.

Green shaded areas represent portions of the site hidden from the viewpoint highlighted in yellow. The project boundary is shown in blue and lotting configurations are outlined in black.

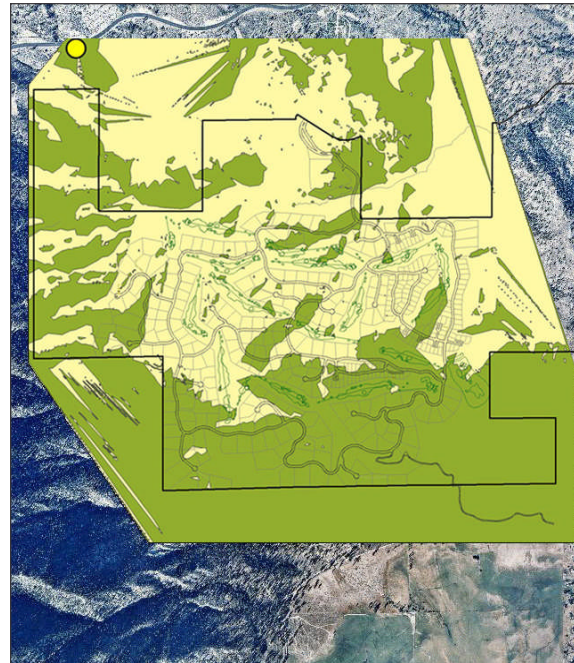


EXHIBIT 8: VIEWPOINT ONE

View from Highway 50 looking southeast across the site. The northern edge of the saddle is visible, approximately 60% of the developed site. Rooftops and northern facades of homes may be partially visible through the surrounding forest.

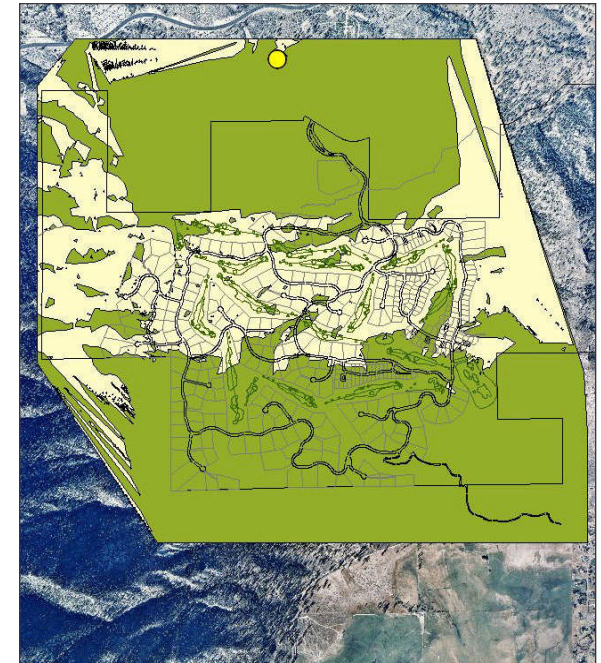


EXHIBIT 9: VIEWPOINT TWO

View from Highway 50 looking southwest across the site. The northern edge of the saddle is visible, approximately 50% of the developed site. Rooftops and northern facades of homes may be partially visible through the surround forest.



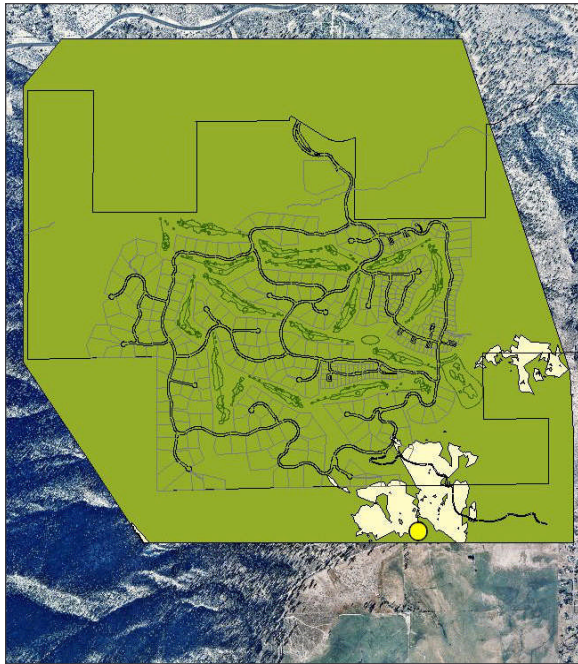


EXHIBIT 10: VIEWPOINT THREE

View from south of site. Steep topography to the north blocks nearly the entire site. Two to three homes' southern facades may be partially visible through surrounding trees.

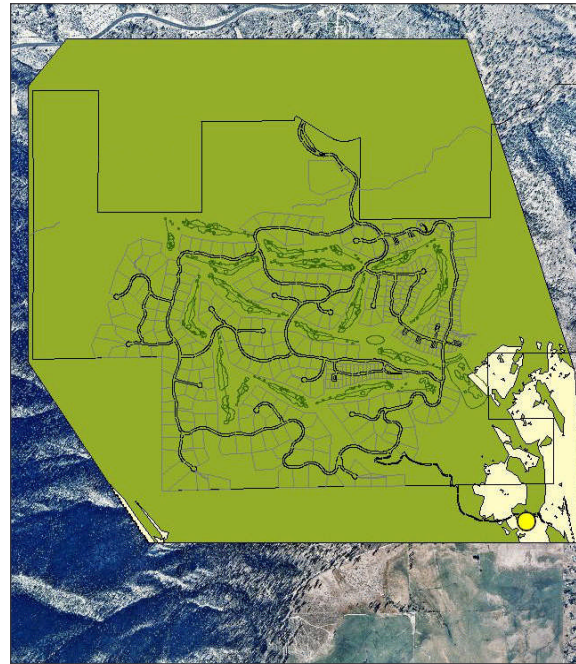


EXHIBIT 11: VIEWPOINT FOUR

View from the existing southern entrance, and future emergency vehicle access road. The entire developed site is blocked from view by steep slopes to the north.

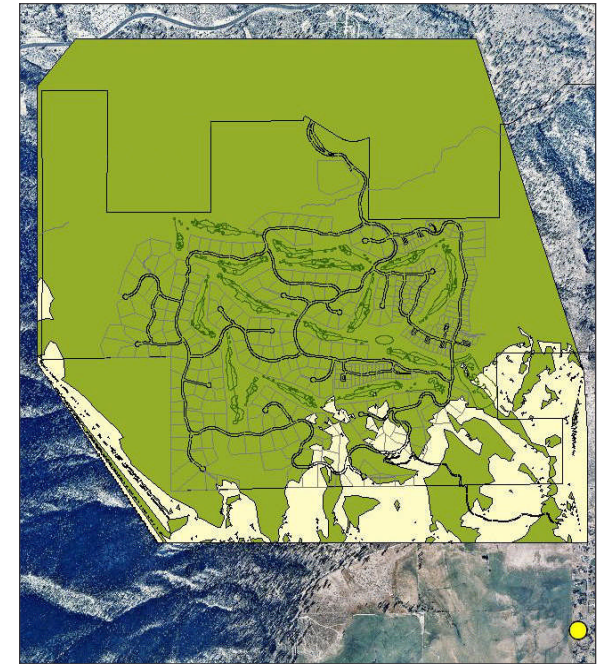


EXHIBIT 12: VIEWPOINT FIVE

View from a neighborhood to the southeast. Southern facades of 15 to 20 homes in the southeast portion of the site may be partially visible through the surrounding trees. The rest of the developed site is blocked by existing topography.

## 2.8 GRADING CONCEPT AND HILLSIDE DEVELOPMENT

Landform sensitivity is central to the overall grading and hillside development approach for Clear Creek Tahoe. When considering roadway alignment the primary concern was how streets would fit the land while maintaining acceptable road grades. The majority of the site accommodates the slope criteria quite easily without the need for significant grading. In more difficult terrain some areas of cut and fill will be required for road construction. As a general rule, all development on site is in conformance with the existing Douglas County Hillside Development guidelines. When slope banks are implemented, new contours will reflect the shape and character of natural terrain. Even more desirable is the use of rockeries. Northern Nevada has a rich history in excellent stonework. Some of the finest examples of rock retaining walls are found in and around Reno. This site in particular lends itself to the use of rock retaining walls in order to transition cut or fill conditions back to natural grade as quickly as possible.

Grading for residences and structures shares the same principles as outlined for the roads. No super pad grading will occur within the Clear Creek Tahoe Development. Each lot has received careful attention to ensure that the grades will accommodate a reasonable building envelope. Custom homebuyers will be required to assemble a team of design professionals, including architects, engineers, and landscape architects to provide a grading plan that preserves as many of the trees and as much of the existing landform on site as possible.

## 2.9 INFRASTRUCTURE SYSTEMS CONCEPT

### 2.9.1 Drainage

The proposed development straddles the ridgeline dividing the Jacks Valley and Clear Creek drainage basins. Currently there are no existing structures or improvements to the site which impact drainage negatively. The site consists of moderately to severely sloping range and forested land in fair to good condition. Soils vary widely within the project, from rock outcrops to wetlands adjacent to Clear Creek. On-site drainage currently consists of washes and streams, which convey flows through the project site. A FEMA Zone 'A' flood-zone, with no base flood elevation determined, exists in the northern portion of the property adjacent to Clear Creek and its major tributary. "Blue line" streams, are limited to the existing Clear Creek which will be protected from degradation as required by Douglas County Code. Additionally, an irrigation delivery system to Jacks Valley consisting of diversions, underground piping, and irrigation ditches will be maintained and will continue to perpetuate flows to existing water rights holders on the conveyance system.

Off-Site Drainage. The Clear Creek Tahoe development is impacted by off-site storm water flows from the west, north and east. Any off-site flows existing impacting the site will continue to be conveyed through the site. Areas south of the project are down gradient of the development and do not impact the site. Storm water flows from the west are normally contained in well-defined existing drainage courses, which generally trend toward and are transmuted downstream and off-site by Clear Creek. Flows from the north are intercepted by Clear Creek and do not impact the development. Off-site flows from the east impact areas proposed for Open Space and flow towards

either Clear Creek or Jacks Valley depending on the basin.

On-Site Drainage. Design of the proposed golf course and development follows the natural land contours with minimal grading. Any modifications to existing floodplains will follow FEMA and Douglas County requirements. It is anticipated that minimal development will take place in the floodplain.

Review of the pre-development and post-development storm water flows indicates that there will be minimal increases in runoff due to the golf course, housing development, and roadway improvements. However, existing sheet flows will be concentrated by the proposed infrastructure. Ditches will be utilized to direct storm flows around and through the golf course areas to release points along historic drainage paths. Best Management Practices will be instituted to protect downstream drainage courses from erosion, silt, turbidity, etc. Detention of storm flows will be provided to ensure storm water quality and no detrimental effect to downstream users. Ditches with excessive slope and ditch intersections will be protected by silt fences, riprap, and straw bales during construction. Additionally, permanent siltation basins will be used to hold flows and allow settlement of entrained soils, while metering flows to pre-development conditions. Siltation basins will not be used on drainage courses flowing to Jacks Valley.

### 2.9.2 Sewer

The proposed sewer system will be a combination of gravity and force main utilizing several lift stations. The sewer system will provide service to the entire Clear Creek development including residential and golf course facilities. Flows from the on-site sewer will be directed to the northern portion of the property, ultimately discharging to an existing gravity sewer line within the existing Golf Club Drive. Sewer mains (gravity and force) will be designed to collect sewage from the Clear Creek Tahoe development at a liftstation near the golf course maintenance facility in the northeast area of the development. The liftstation will deliver the sewage to a point adjacent to Golf Club Drive (Highway 50 Connector) where the forcemain will be connected to an existing Carson City gravity main. All proposed on-site and off-site sewer systems will be designed in accordance with the Douglas County Design Criteria and Improvement Standards.

On-Site Sewer. For the proposed on-site and off-site sewer system, a gravitational main will be used wherever possible, enabling the piping to follow the natural contours of the terrain. In areas where gravity mains are not possible, force mains will be used. The on-site sewer is primarily divided into two areas of flow; the northern and southern portions of the property. Sewer within the southern portion primarily flows south to a low point where it is collected in a lift station and pumped back to the lift station at the golf course maintenance facility. Sewer within the northern portion of the property generally flows north and into the lift station at the golf course maintenance facility. From that lift station, the flow is pumped to the north; where it ties into an existing gravity main along Golf Club Drive and is collected in the Carson City sewer system.

Off-Site Sewer. The existing off-site sewer collection system begins on the western edge of Golf Club Drive north of Old Clear Creek Road. The gravity sewer main continues down Old Clear Creek Road until tying in to the Carson City sewer network near the intersection of Old Clear Creek Road and US Highway 395 East of the Clear Creek Tahoe property.

### 2.9.3 Water

On-Site Water. The on-site water system will be primarily a gravity fed system providing reliable water distribution service to the residents of the Clear Creek Tahoe development while limiting the operation and maintenance associated with a system relying solely on pumping. The service risks associated with a pumped system are avoided by providing a gravity fed system with the assistance of two to three booster pump stations. The booster pump stations are planned to be located at elevations to minimize pumping requirements for the development. The ultimate size and elevations of the storage tanks will be based on fire flow and operating storage requirements sufficient to supply water to the development. The tanks will be sized in accordance with NAC 445A.6674 and Douglas County Design Standards section 4.8.2.

With the proposed water system connecting to the existing Douglas County water system, the entire fire protection system and domestic water service will be improved. The additional storage, pressure, and volume created by the new system will provide the fire protection agency in the area a redundant system to fight fires as needed. In addition, water stored in the on-site ponds for golf course irrigation could be used for wildfire suppression and the proposed golf course provides

a beneficial fire break in the event of a forest fire in the area.

Effluent from the Incline Village Wastewater Treatment Plant will be used for golf course irrigation. Flow from the IVGID effluent line will be diverted through an on-site treatment facility prior to usage for irrigation. The treated effluent will be stored in a pond on the golf course and delivered to the fairways by a central irrigation pump station. Domestic water will not be used as the primary source of irrigation leaving greater supply for future municipal projects.

The on-site water supply shall be provided by off site facilities and underground sources.

Off-Site Water. Clear Creek Tahoe will expand the existing Douglas County water system to bring water service to the development. The point of connection to the existing Douglas County water system is approximately two miles from the Clear Creek Tahoe property. An existing two million gallon water storage tank will provide the operational storage to project. Recent improvements to the Douglas County system assure that adequate supply is available to supply the demands of the Clear Creek Tahoe community. Improvements provided by Clear Creek Tahoe will deliver water to the development and provide a connection between regional components of the existing Douglas County System. The Clear Creek Tahoe improvements will allow Douglas County greater operational flexibility in their water system and improve service to the existing customers.

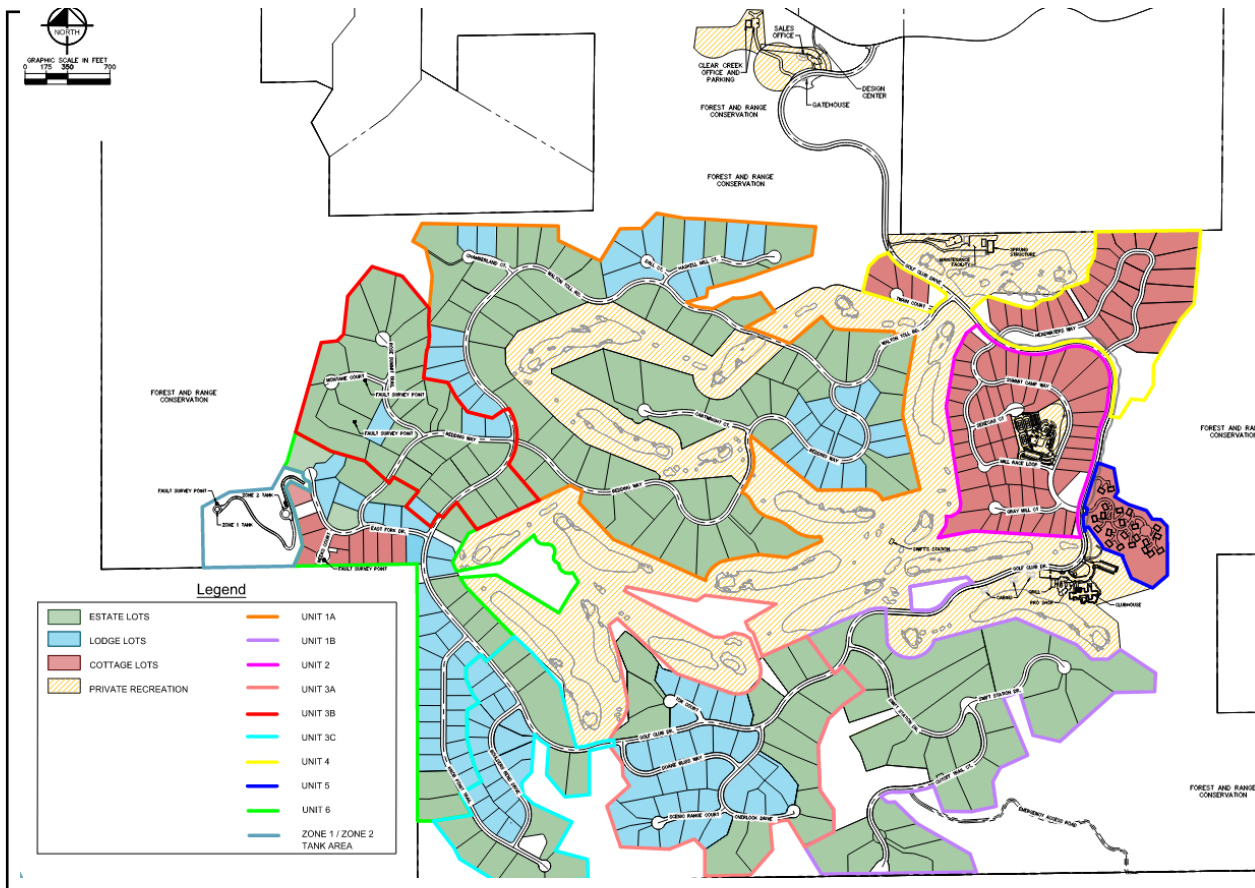


## SECTION TWO. COMMUNITY PLAN

### Off-Site Water continued.

To accommodate the demand for Clear Creek Tahoe, various improvements to the existing Douglas County system will be constructed. A pump station will be constructed at the existing Douglas County water storage tank at Jacks Valley Road. Approximately two miles of water main will be installed in Jacks Valley Road to connect the new booster pump station at Jacks Valley Road to a booster pump station at Clear Creek Tahoe. Additionally, an approximate three miles of water main will be installed in Jacks Valley Road between Clear Creek Tahoe and the James Canyon area to complete the connection between the Jacks Valley water storage tank and existing water storage tanks in the James Canyon area. The connection between the tanks will improve the Douglas County water system operation and assure adequate service to existing and future residences.

Clear Creek Residential, LLC shall model proposed sewer and water facilities and the County will provide direction on the required improvements. Approval of the Clear Creek Tahoe Specific Plan does not constitute County approval of sewer or water system improvements in whole or part. Clear Creek Residential, LLC shall have project improvement plans for water and sewer improvements approved by the County.

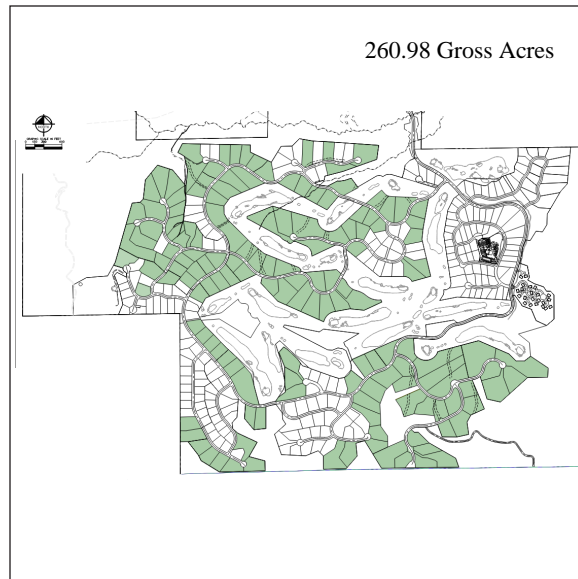


**3.1 LAND USE STANDARDS**

Land Use Standards are provided in this section to set the regulatory requirements for setbacks, lot coverage, building heights, and maximum allowable densities. All development shall comply with the text, policies, standards, and various tables and exhibits presented in this Specific Plan. Where the Specific Plan is silent on a particular standard, the standards established in the existing Development Code shall be utilized. It should be noted that design standards and guidelines for walls, fences, landscaping, signage, and other related design elements of the Clear Creek Tahoe community are also included in this Specific Plan, and are addressed in detail in Section Four: Design Standards and Guidelines.



## SECTION THREE. DEVELOPMENT STANDARDS



Golf Estates Land Use Areas

### 3.1.1 GOLF ESTATES (SFR-1)

The Golf Estates (SFR-1) designation provides a custom housing product type that is respectful of the natural setting and topography of the existing property. The provision of additional residential units will provide Douglas County residents with another housing opportunity that will serve as an asset to the community without significantly impacting scenic views or sensitive environmental habitat.

The Golf Estates are situated on lots that range from one (1) acre to four (4) acres in size. The Golf Estate densities range from 0.2 to 1 du/ac with an average of 0.5 du/ac.

**Permitted and Prohibited Uses.** All uses shall be permitted or prohibited in accordance with Section 20.656.020 of the Development Code unless otherwise stated within the Clear Creek Specific Plan.

Language regarding Accessory Dwelling Units has been modified to reflect approved change per PD 03-004-10 dated November 21, 2016. Accessory dwelling uses shall be permitted with approval by the Clear Creek Tahoe Home Owner's Association (HOA) and / or Design Review Committee (DRC) in accordance with Specific Plan Section 1.4.2.

All Golf Estates shall be developed in conformance with the County's Hillside Development Ordinance.

TABLE 3: SFR-1 DEVELOPMENT STANDARDS

	Requirements
Density/Intensity	
Density Range	0.2 - 1 du/ac
Lot Area	
Minimum Lot Size	43,560 sqft
Minimum Lot Width	175 ft
-Flag lots excepted	
Minimum Corner Lot Width	N/A
Minimum Lot Depth	150 ft
Setbacks	
Minimum Front Yard	30 ft
Minimum Side Yard	20 ft
Minimum Side Yard-Streetside	30 ft
Minimum Rear Yard	30 ft

Minimum Building-to-Building 60 ft

-Refers to buildings on separate parcels only.

Maximum Building Height 35 ft

-Defined as the highest point of a structure, excluding chimneys and vents, to the average of the highest and lowest points where the exterior walls touch natural grade.

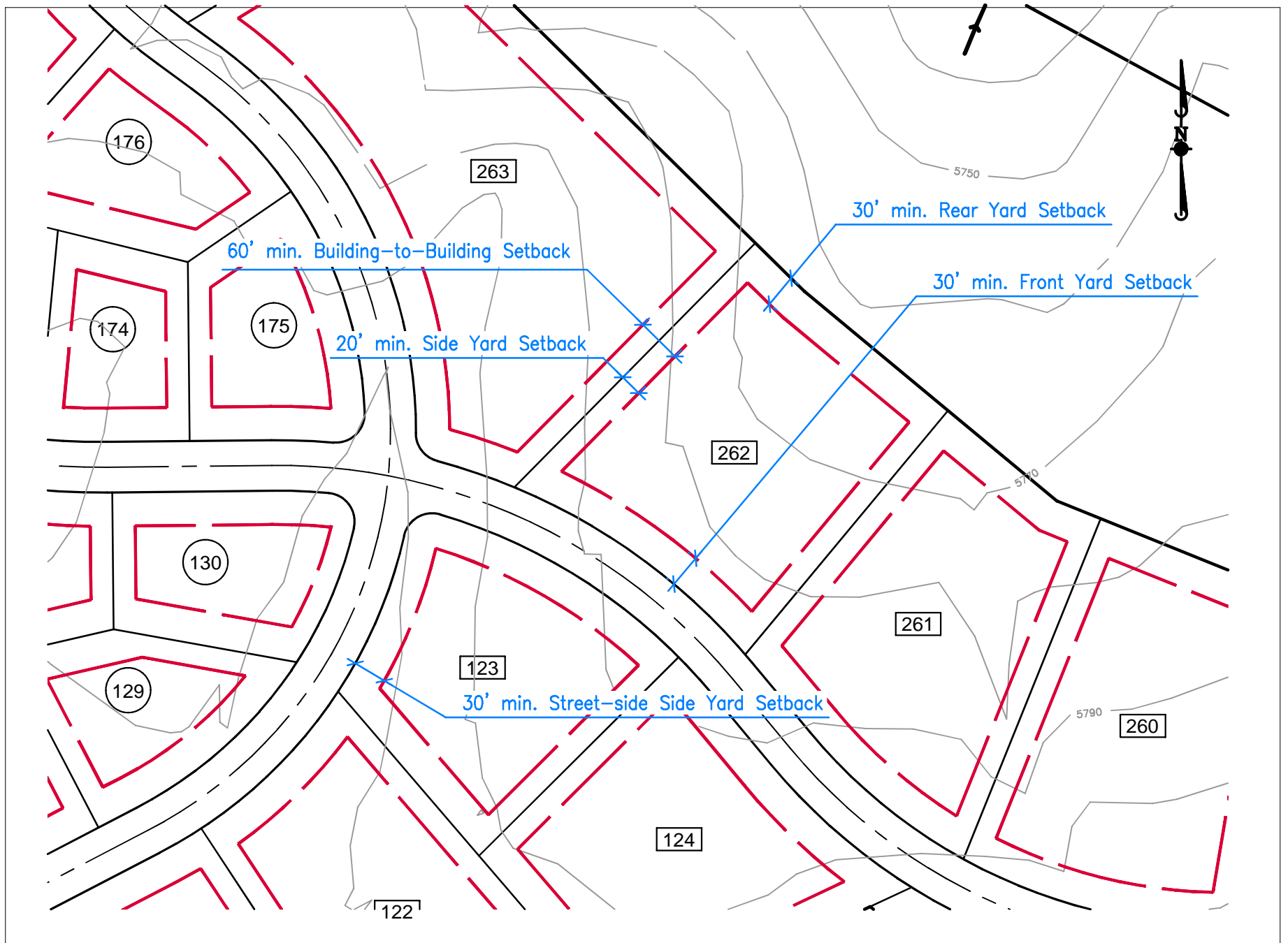
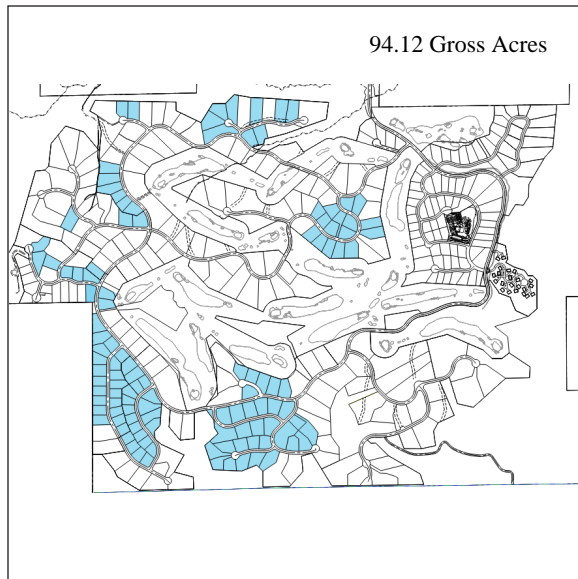


EXHIBIT 14: PROTOTYPICAL GOLF ESTATES SITE PLAN



SECTION THREE. DEVELOPMENT STANDARDS



Golf Lodges Land Use Areas

**3.1.2 GOLF LODGES (SFR-1/2)**

The Golf Lodges (SFR-1/2) designation provides a custom housing product type that provides modest home sites with adequate space to create residences that will compliment the existing natural surroundings. Residents will enjoy the immediate access to the Clear Creek Tahoe golf facilities and amenities within the community.

The Golf Lodges are situated on lots that range from one-half (1/2) acre to approximately one (1) acre in size. The Golf Lodge densities range from 0.9 to 2 du/ac with an average of 1.2 du/ac. This density allows for residents to develop a sense of community without impacting the scenic setting.

**Permitted and Prohibited Uses.** All uses shall be permitted or prohibited in accordance with Section 20.656.020 of the Development Code unless otherwise stated within the Clear Creek Tahoe Specific Plan.

Language regarding Accessory Dwelling Units has been modified to reflect approved change per PD 03-004-10 dated November 21, 2016. Accessory dwelling uses shall be permitted with approval by the Clear Creek Tahoe Home Owner's Association (HOA) and / or Design Review Committee (DRC) in accordance with Specific Plan Section 1.4.2.

All Golf Lodges shall be developed in conformance with the County's Hillside Development Ordinance.

TABLE 4: SFR-1/2 DEVELOPMENT STANDARDS

	Requirements
Density/Intensity	
Density Range	0.9 - 2.0 du/ac
Lot Area	
Minimum Lot Size	21,780 sf
Minimum Lot Width	100 ft
Minimum Corner Lot Width	120 ft
Minimum Lot Depth	100 ft
Setbacks	
Minimum Front Yard	30 feet
Minimum Interior Side Yard	20 feet
Minimum Street-side Side Yard	20 ft
Minimum Rear Yard	30 ft
Minimum Building-to-Building	40 ft
Maximum Building Height	35 ft
-Defined as the highest point of a structure, excluding chimneys and vents, to the average of the highest and lowest points where the exterior walls touch natural grade.	
-Refers to buildings on separate parcels only	

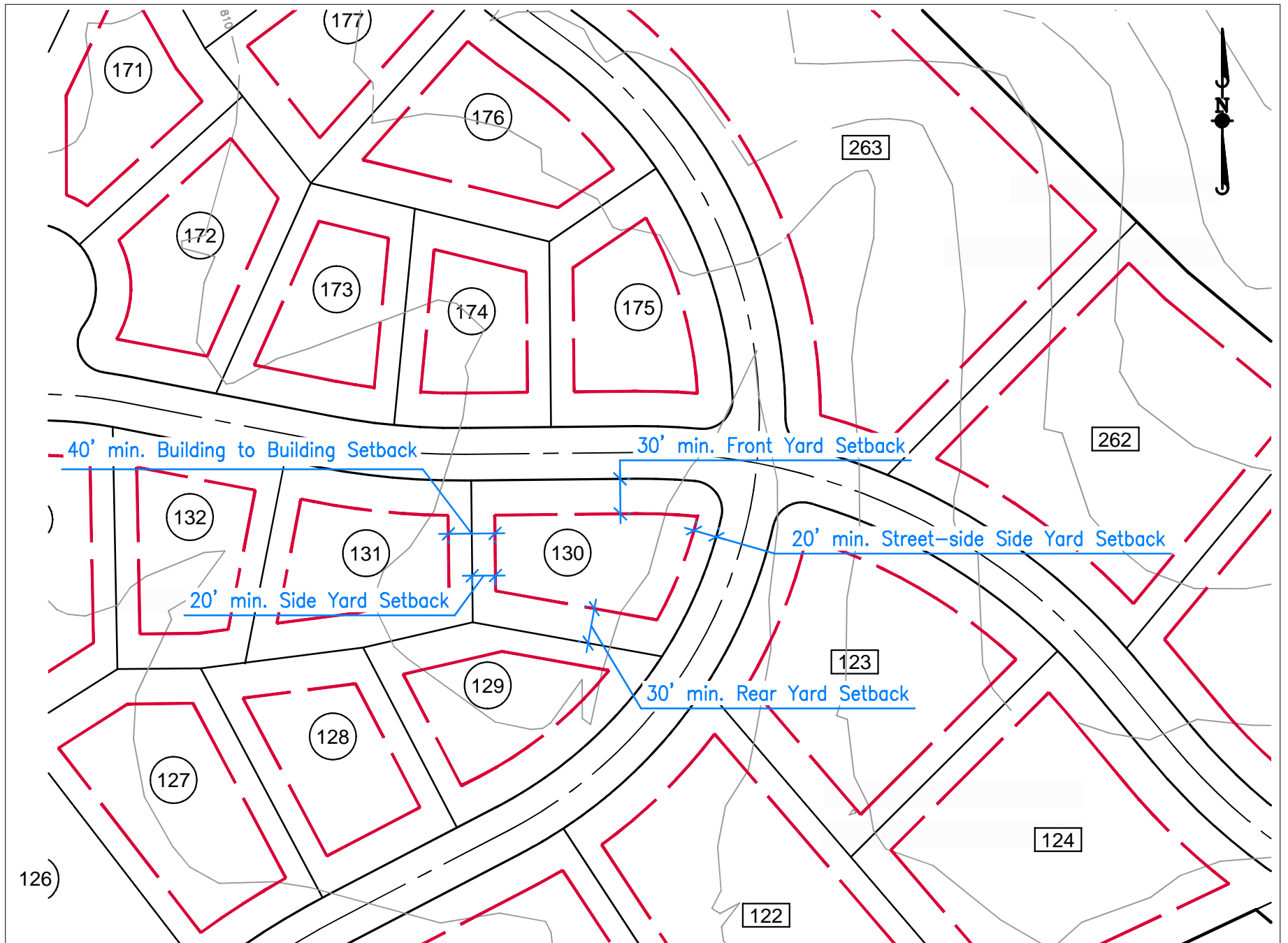
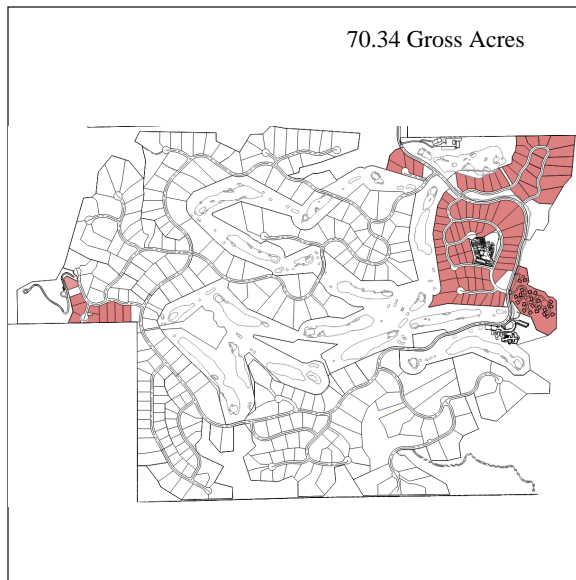


EXHIBIT 15: PROTOTYPICAL GOLF LODGES SITE PLAN



## SECTION THREE. DEVELOPMENT STANDARDS



Golf Cottages Land Use Areas

### 3.1.3 GOLF COTTAGES

The Golf Cottages product will be situated in close proximity to the golf course amenities. The gathering of Golf Cottage homesites lies between the clubhouse, practice facility and golf course to provide convenient access to interested residents.

The Golf Cottages are situated on lots that range from approximately one-quarter (1/4) acre to one (1) acre in size. The Golf Cottages provide an option to potential residents that desire to develop a homesite within the community without substantial maintenance requirements. Although higher in density than the Golf Estates, the subdivision design provides space to accommodate creative housing options although it is expected that the Golf Cottages will have some conformity in architecture.

Twenty-two units just north of the eighteenth fairway and northeast of the clubhouse, within Unit 5, are designated for use as lodging associated with the golf facilities. These units are also classified as Golf Cottages (SFR-8,000) and must comply to the same development standards within this section.

**Permitted and Prohibited Uses.** Properties within the Golf Cottage designation will comply with the provisions of Section 20.656.020 of the Development Code for permitted and prohibited uses of SFR-8000 unless otherwise identified by this Specific Plan. A “Family Campus” indoor/outdoor recreation use is specifically permitted with approval by the Clear Creek Tahoe Home Owner’s Association (HOA) and / or Design Review Committee (DRC) in accordance with Specific Plan Section 1.4.2.

Properties designated as Golf Cottages shall comply with the provisions of the Hillside Development Ordinance. Variances to the Hillside Development Ordinance for setback distances of retaining structures and engineered

TABLE 5: GOLF COTTAGE DEVELOPMENT STANDARDS

	Requirements
Density/Intensity	
<b>Density Range</b>	<b>1 - 4 du/ac</b>
Lot Area	
<b>Minimum Lot Area</b>	N/A
<b>Area Range</b>	N/A
Setbacks	
Minimum Front Yard	20 ft
<b>Minimum Rear Yard</b>	<b>15 ft</b>
<b>Minimum Side Yard</b>	<b>5 ft</b>
<b>Minimum Street Side</b>	<b>15 ft</b>
<b>Minimum Building-to-Building</b>	<b>10 ft</b>
<b>Maximum Building Height</b>	<b>35 ft</b>
<b>-Defined as the highest point of a structure, excluding chimneys and vents, to the average of the highest and lowest points where the exterior walls touch natural grade.</b>	
slopes may be required on some Golf Cottage parcels, due to the unique topographical features within the Golf Cottage development areas. Variance requests must be submitted with a building permit application and include a justification and site plan with cross sections stamped by a P.E.	

All Golf Cottages shall be developed in conformance with the County's Hillside Development Ordinance.

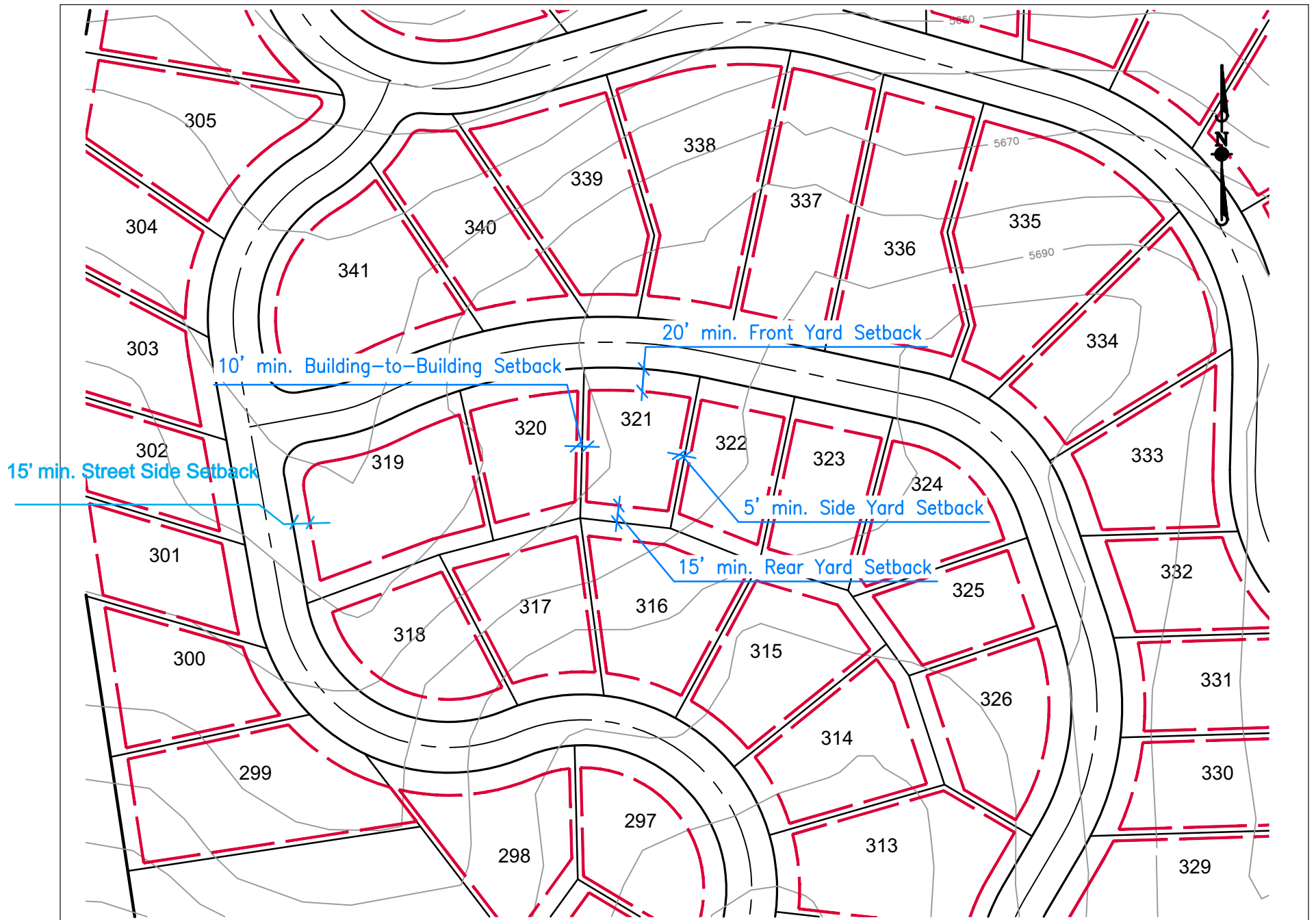
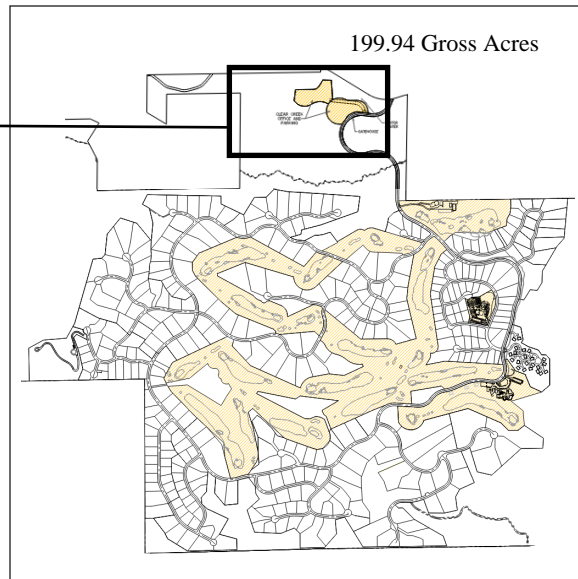
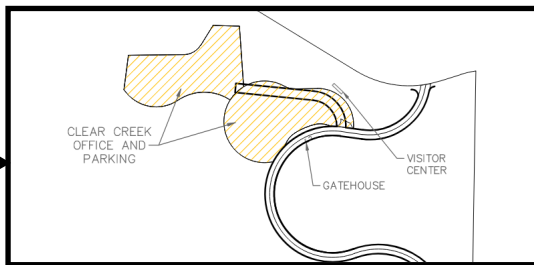


EXHIBIT 16: PROTOTYPICAL GOLF COTTAGES SITE PLAN

## SECTION THREE. DEVELOPMENT STANDARDS



Private Recreation Land Use Areas



Private Recreation Visitor Center, Gatehouse, and Office and Parking

### 3.1.4 PRIVATE RECREATION (PR)

Areas designated as Private Recreation uses are generally those that comprise the project's recreational facilities. The golf course, clubhouse and any ancillary uses such as the Pro Shop, Fitness Center, and related dining facilities are included under this land use designation.

The golf course area slated for PR designation encompasses approximately 168 acres. The construction of the golf course will involve minimal grading and tree cutting, retaining the natural beauty of the site while limiting impacts.

All PR lodging shall be developed in conformance with the County's Hillside Development Ordinance.

TABLE 6: PR DEVELOPMENT STANDARDS

	Requirements
Density/Intensity	
Maximum Floor Area Ratio	0.35
Lot Area	
Minimum Net Lot Size	8000 sq-ft
Average Lot Width	80 ft
Flag lots accepted	
Average Corner Lot Width	90 ft
Setbacks	
Minimum Front Yard	20 ft
Minimum Interior Side Yard	Total 15 ft w/ min side-yard of 5 ft.
Minimum Street-side Side Yard	15 ft
Minimum Rear Yard	15 ft
Minimum Building to Building	15 ft
Minimum Building to Parking	10 ft
<i>Refers to buildings on separate lots or parcels only.</i>	
Maximum Building Height	50 ft

**-Defined as the highest point of a structure, excluding chimneys and vents, to the average of the highest and lowest points where the exterior walls touch natural grade.**

**Permitted and Prohibited Uses.** Permitted and prohibited uses shall conform to the provisions identified in Section 20.658.020 of the Development Code.





Forest and Range/Conservation Land Use Areas

**3.1.5 FOREST AND RANGE/CONSERVATION (A-19)**

The primary purpose of the Forest and Range/Conservation designation is to preserve the existing slopes and natural terrain and will act as a passive recreational resource for the Clear Creek Tahoe community. These areas are not intended to facilitate future development; instead, they accommodate the establishment of trails and pathways that can be utilized by the residents of Clear Creek Tahoe and Douglas County.

The areas designated for conservation are generally located on the outer edges of the north, east and west sides of the property. Totalling approximately 853 acres in size, the Forest and Range/Conservation area comprises approximately 53% - over half - of the total acreage of the Clear Creek Tahoe project. In addition to providing trails for the Clear Creek Tahoe residents and visitors, the property will also help to preserve the natural slopes that contribute significantly to the scenic vistas present within this area.

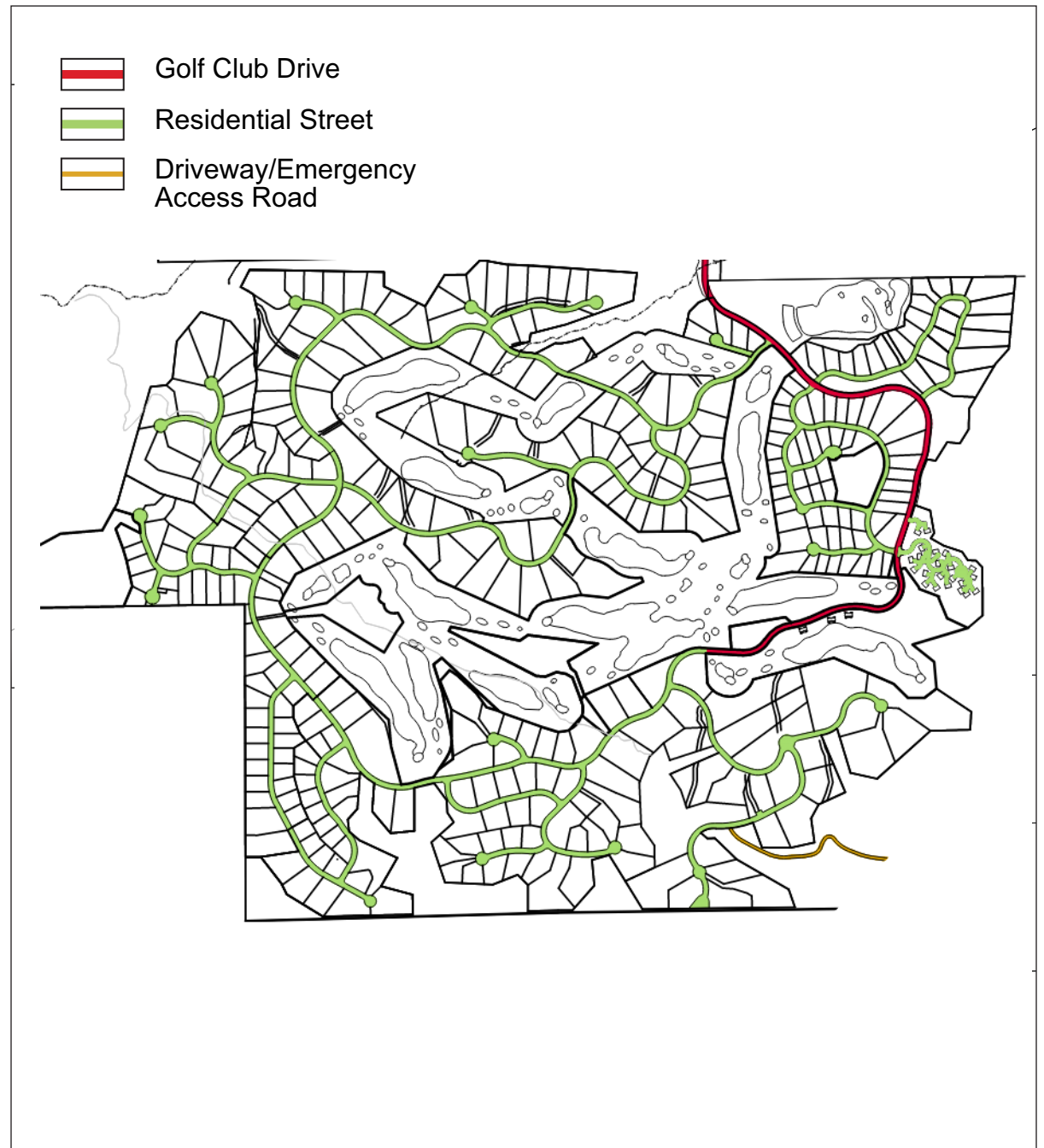
**Permitted and Prohibited Uses.** Development of residential structures will be prohibited on lands planned as Forest and Range/Conservation areas within the Clear Creek Tahoe Specific Plan.

Ancillary structures associated with trails usage shall be permitted. Infrastructure facilities such as water tanks and pump stations shall also be permitted.

## SECTION THREE. DEVELOPMENT STANDARDS

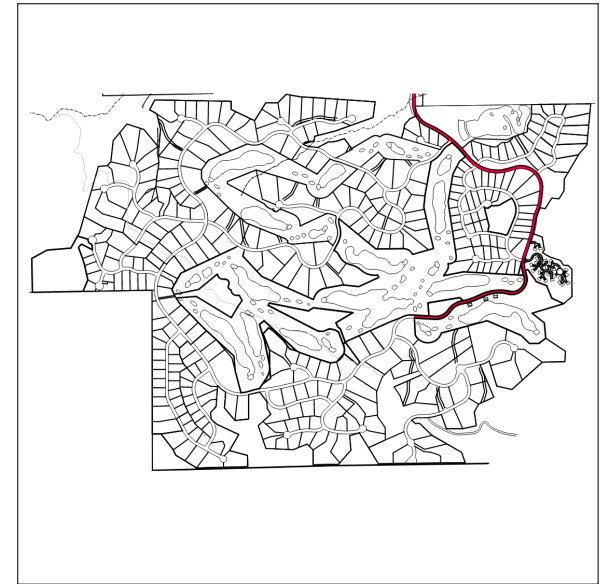
### 3.2 STREETSCAPE DESIGN STANDARDS

Streetscape Design Standards are provided in this section to set the design requirements for right-of-ways throughout the community. Typical cross sections of each roadway type are illustrated and supplemented with a list of design standards and recommended guidelines to ensure that the design intent and quality development of the streetscapes are achieved. All development shall comply with the text, standards and exhibits presented in this Specific Plan. The streets located within the Clear Creek Specific Plan will be privately owned and maintained by the Clear Creek Home Owner's Association.

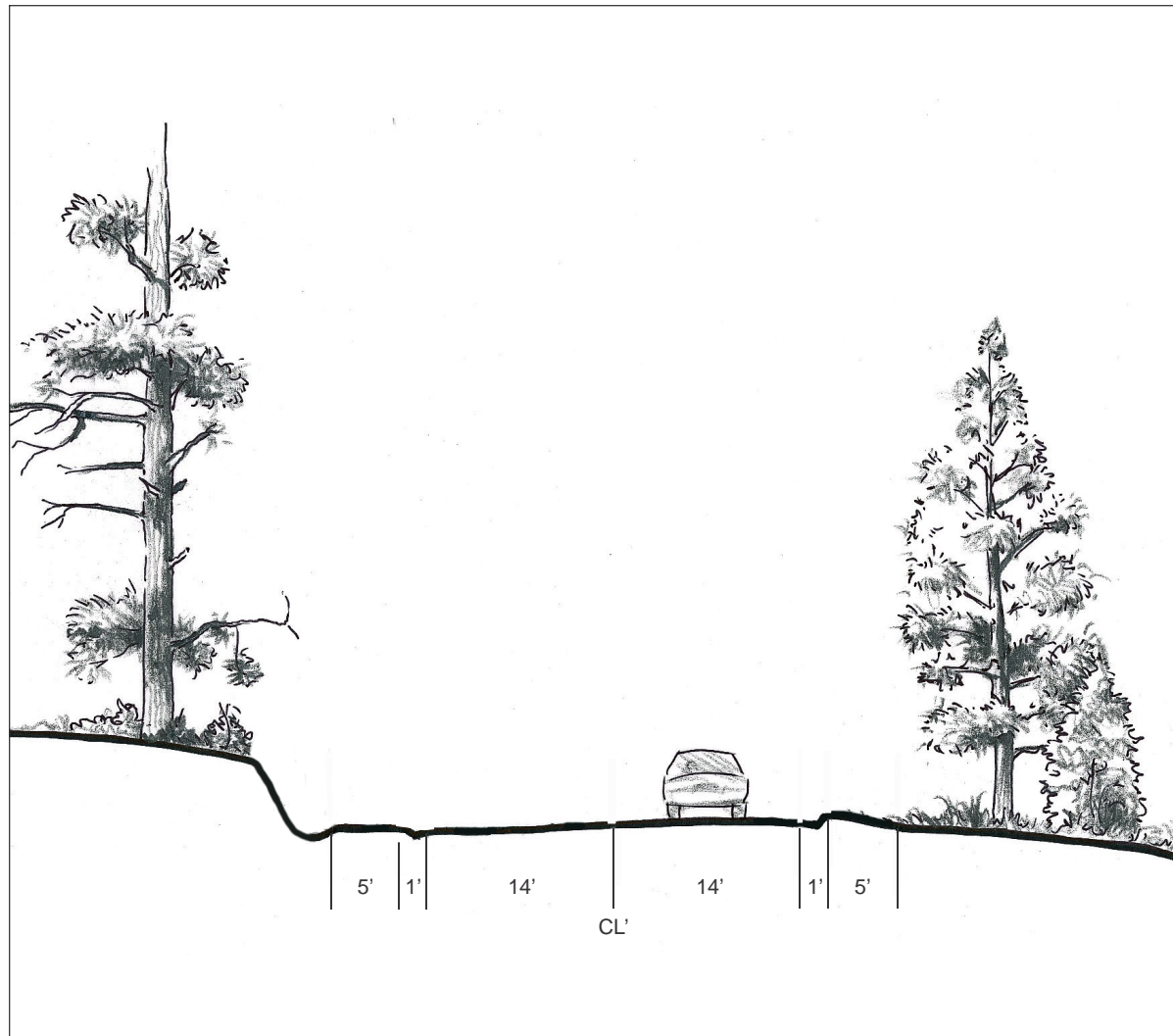


**3.2.1 Golf Club Drive**

The first section of Golf Club Drive is a primary arterial that accommodates two 14' travel lanes (one in each direction), designed to accommodate flow as traffic enters the community. Street edges are defined by a 1' mountable curb and 5' clear zone to be used by emergency vehicle access if a portion of the paved section becomes obstructed. After the Golf Clubhouse, the arterial transitions to a residential street.



GOLF CLUB DR.



- Formal street trees shall not be used in the streetscape design. Tree plantings along the road Right-of-way shall be randomly placed, similar to the natural distribution on site.
- Plant material used for screening and re-vegetation associated with road grading shall be selected from the plant palette contained in the landscape guidelines section.
- When there exists a median condition, the median shall contain small specimen trees, shrubs, boulders, and groundcover. Medians may contain slight mounding and plant arrangement should be informal to create variety of form.
- No overnight on-street parking is allowed.

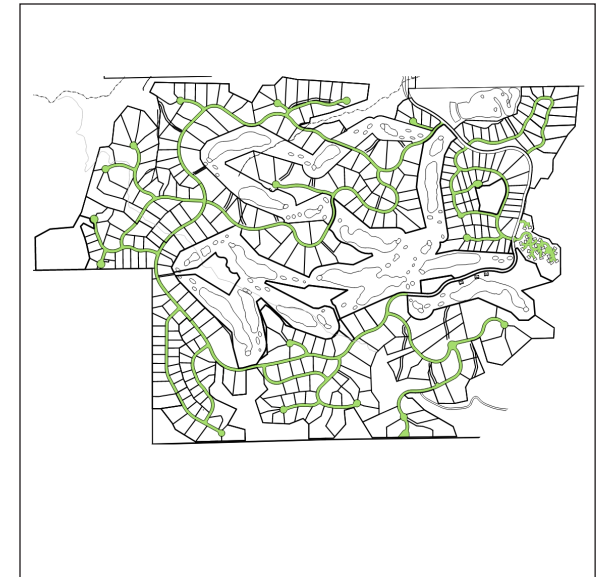


## SECTION THREE. DEVELOPMENT STANDARDS

### 3.2.2 Residential Streets

Primary collectors, including part of Golf Club Drive, that accommodate two 11' travel lanes (one in each direction), are designed to slow flow as traffic meanders throughout the community. Street edges are defined by a 6' clear zone, to be used by emergency vehicle access if a portion of the paved section becomes obstructed; some sections may have a 1' mountable curb and a 5' clear zone.

The Fire District requires that at each fire hydrant location the clear zone be designed and constructed to meet or exceed 20 ton minimum vehicle load on each side of the street for a distance of 80 feet, 40 feet before and 40 feet after the hydrant.



Residential Streets

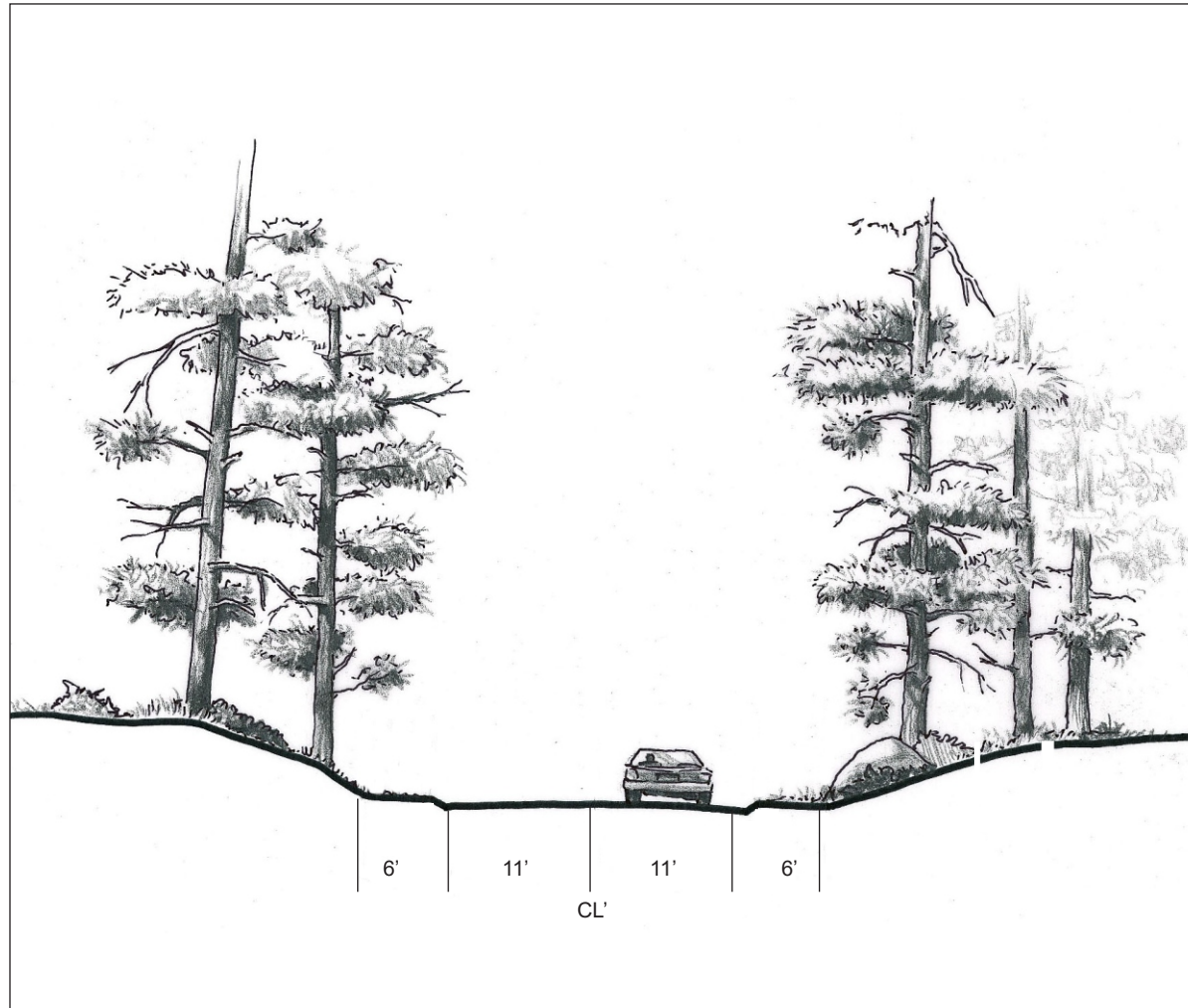
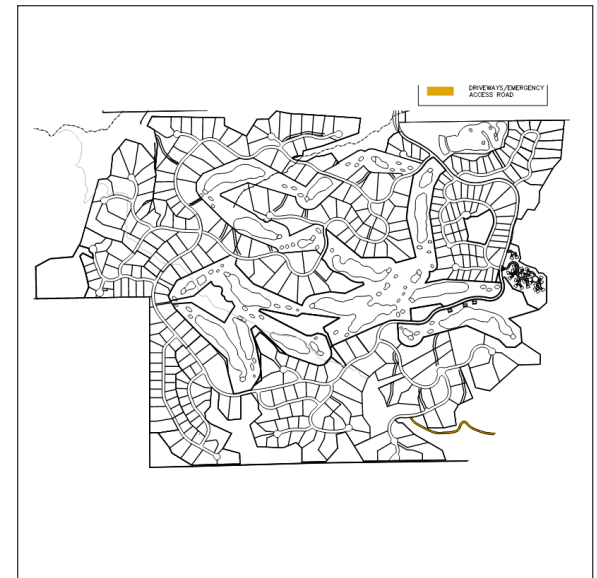


EXHIBIT 19: RESIDENTIAL STREET SECTION

- Formal street trees shall not be used in the streetscape design. Tree plantings along the road right-of-way shall be randomly placed, similar to the natural distribution on site.
- Plant material used for screening and re-vegetation associated with road grading or residential dwellings shall be selected from the plant palette contained in the landscape guidelines section.
- Minimum curve radius shall not be less than 71' and shall conform with AASHTO design standards for a 15 MPH design speed and in conformance with East Fork Fire Protection District requirements.
- No on-street parking is allowed.

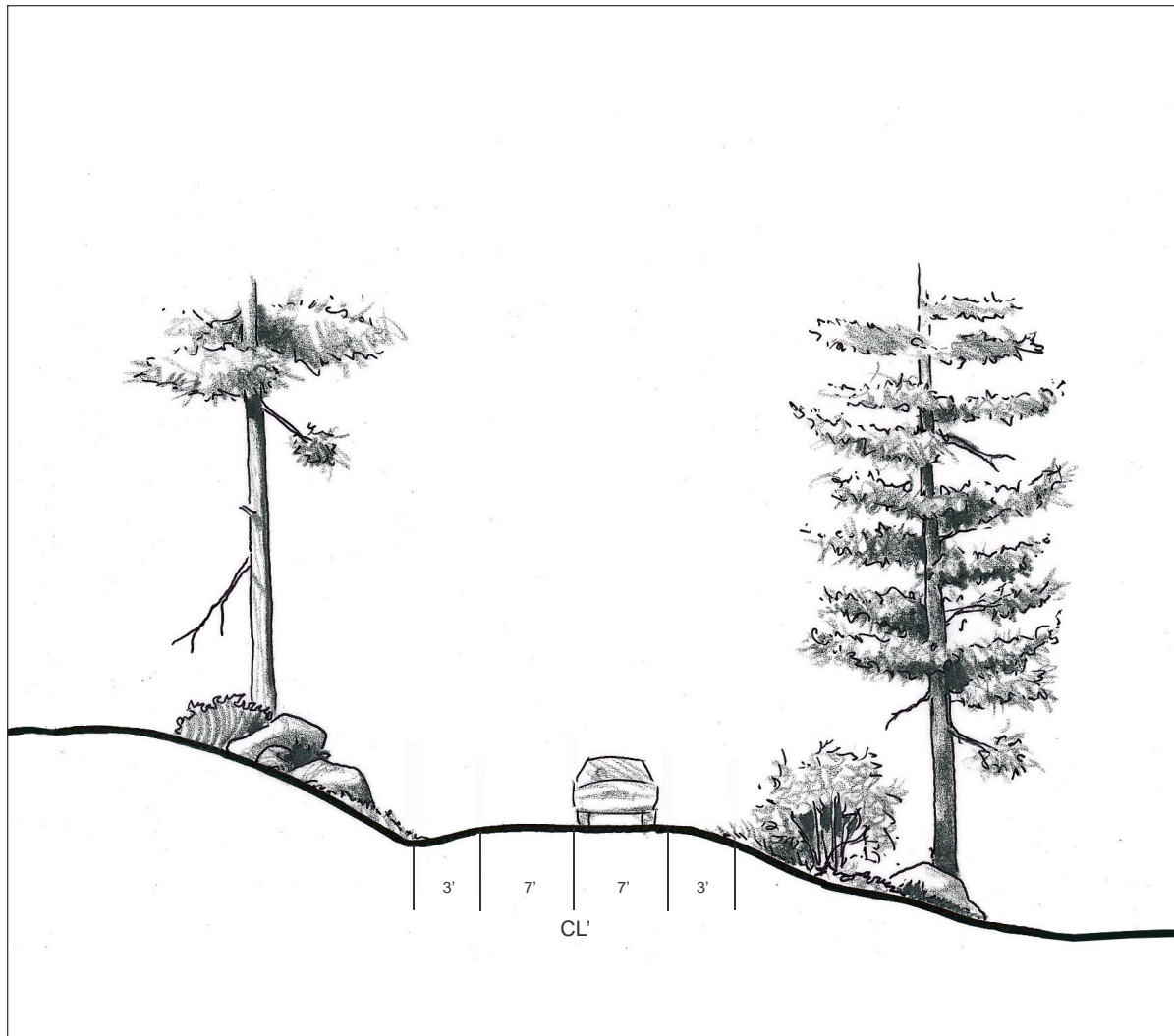
**3.2.3 Driveways/Emergency Access Road**

Private Drives and the Emergency Access Road are designed as two 7' travel lanes (one in each direction) to accommodate limited traffic. Street edges of the Emergency Road are flanked by a 3' clear zone to be used by emergency vehicle access if the paved section becomes obstructed.



Driveways/Emergency Access Road

- Formal street trees shall not be used in the streetscape design. Tree plantings along the road right-of-way shall be randomly placed, similar to the natural distribution on site.
- Plant material used for screening and revegetation associated with road grading or residential dwellings shall be selected from the plant palette contained in the landscape guidelines section.
- Driveways that exceed 250' in length shall provide an area for emergency vehicles to turn around, per East Fork Fire Protection District.
- No on-street parking is allowed.



#### 4.1 INTRODUCTION

The Clear Creek Tahoe Design Standards provide the tools necessary to achieve the community Vision and Guiding Principles outlined in Section One. They are intended to insure that the values and vision embodied in the master plan will be protected for the long term, and that every home site will be developed in a way that protects the rural feeling of the community. The implementation of these Design Standards will help connect the individual residential home sites to the overall community identity in a manner that is flexible and effective.

It should be noted that the design criteria identified in this section are implemented at two different levels. These levels of commitment are differentiated through the terminology. Several terms have been included within the design criteria and are differentiated in the following manner:

**Design Standards.** Design Standards are regulations that must be adhered to. These standards serve as the basis for development compatibility within the Clear Creek Tahoe community. Design Standards are typically characterized by the use of the terms “shall” or “...required.”

**Design Guidelines.** Design Guidelines are design criteria that are strongly encouraged for optimal design results, but are not required. Design Guidelines are typically characterized by the use of the term “should.”

The Design Standards presented here describe the site design, landscape design and architectural design criteria that are to be met for all improvements on each lot, as well as in the design of community wide improvements. The section on site design provides direction on how individual home sites should be organized on the site. The section on landscape design identifies the landscape treatment for public spaces and individual lots. Lastly, the section on architecture design describes the character of buildings within Clear Creek Tahoe.

##### 4.1.1 Authority

To ensure the Design Standards identified in this Specific Plan are met, plans for development of all lots and parcels in Clear Creek Tahoe will need to be approved by the Design Review Committee (DRC) prior to submitting for a Douglas County building permit. In those instances where these Standards remain silent, the improvements on each lot shall conform to the Douglas County Consolidated Development Code and the Douglas County Design Criteria and Improvement Standards.



#### 4.2 COMMUNITY DESIGN THEME

In the planning of Clear Creek Tahoe, special attention has been given to the natural features of the site that make it unique and memorable. Stands of Jeffrey Pines have been preserved and integrated into the design of the community. Rock outcroppings characteristic of the area have been protected and natural drainage courses have been preserved and will provide important habitat for the area's wildlife. Roads in Clear Creek Tahoe gently conform to the natural terrain, while comfortably connecting the residential homesites. Finally, the home sites on the hills have been sited to fit comfortably in the gently rolling character of the site.

The natural landscape of the surrounding open space extends into the community along roads, on slopes, in community open space areas, the golf course and on the edges of home sites to create the informal rustic atmosphere that is integral to the character of Clear Creek Tahoe. As a result of this attention to the integration of home site, landform and landscape, Clear Creek Tahoe has a unique, natural visual appeal that is the foundation of the design character of the community. The Design Standards for the residential home sites that are described in this document, reinforce this visual character of the community.

#### 4.3 SITE DESIGN GUIDELINES AND STANDARDS

Site Design Standards focus primarily on the location and arrangement of features on a home site such as building orientation and grading. They also address the location of private recreation facilities that could affect neighboring home sites.





#### 4.3.1 Golf Estates

##### Site Access and Parking

- Driveways shall not exceed 14 percent slope.
- Driveways that exceed 250 feet are required to have an approved fire truck turnaround, per East Fork Fire Protection District. The turnarounds should be integrated into the design of the overall driveway and guest parking areas of the lot.
- Back up from garages must be a minimum of twenty-eight (28) feet clear and the turning radius into a side entry garage must be twenty-six (26) feet minimum.
- Rear entry, multi-car, multi-car with tandem spaces, split designs, carports and subterranean garages may be allowed subject to review and approval by the Design Review Committee.
- A minimum of two (2) enclosed parking spaces are required for each individual lot.
- A minimum of two (2) guest spaces must be provided on each lot because on-street parking is prohibited. All parking must be contained behind landscape which screens parking areas and garage doors as much as possible from off-site views.

##### Grading and Drainage

- Buildings should be carefully sited on the lot and designed to minimize grading.
- If slope banks are necessary they should be contour graded and enhanced with appropriate landscape to blend with the surrounding terrain.
- Lot buyers should balance all earthwork on site.
- Where grading is necessary, drainage shall not occur from one home site to other home sites or to common areas.
- Sheetflow, roof water and overflow irrigation water must flow away from structures. Each



Golf Estate Building Setbacks

individual homeowner is responsible for collecting and controlling all flows leaving the developed area within their lot. Flows leaving each lot shall be mitigated to pre-developed conditions prior to discharge from each lot.

- Retaining walls shall be used where necessary to preserve trees.
- The existing grade at or near the property line may not be disturbed.

##### Screening

The following must be screened by landscaping so that they are not visible from the street or neighboring lots including neighboring second story views:

- Barbecues and spas
- Mechanical equipment, such as heating or air conditioning equipment.
- Utility meters
- Outdoor storage areas or play structures
- Pool and fountain equipment
- Satellite dish and antennas

- Trash enclosures
- Uncovered or guest parking
- Homeowner recreational and oversize vehicles must be stored within an enclosed structure.

Screening may be accomplished by any one of the following methods:

- Enclosed in a building that is architecturally consistent with the style of the residential building.
- Permanent landscape planting of evergreen hedges, shrubs, trees or vines of sufficient mature height, density and breadth to completely conceal from view those things that require screening.
- Overhead trellis

Enforcement of the above screening standards is the responsibility of the Clear Creek HOA.

##### Recreational Facilities

- Recreational facilities shall be subject to review and approval by the Design Review Committee.

##### Exterior Sculpture and Artwork

- Any exterior site sculpture and artwork will be limited to the designated building envelope and should be hidden from public view and the golf course. All proposed sculptures and artwork shall be subject to review and approval by the Design Review Committee.

##### Homesites Adjacent to the Golf Course

- During the site planning of these homesites, the homeowner should give careful consideration to the possibility that errant golf balls may enter the homesite area. Particular attention should be given to orientation of windows, other breakable surfaces and outdoor entertainment areas.
- Netting screens, fences or walls are not allowed.

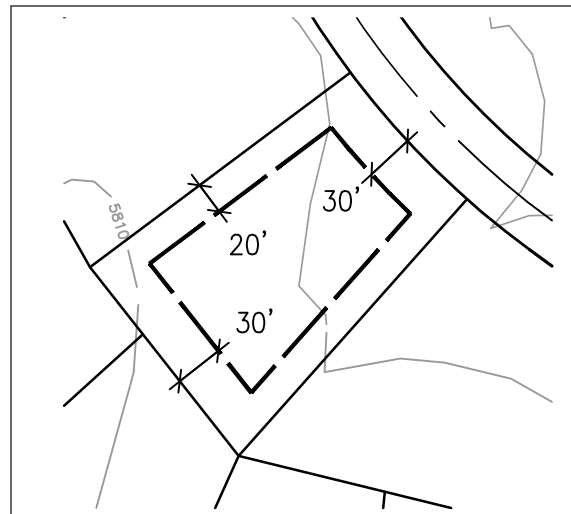
### 4.3.2 Golf Lodges

#### Site Access and Parking

- Driveways shall not exceed 14 percent slope.
- Driveways that exceed 250 feet are required to have an approved fire truck turnaround, per East Fork Fire Protection District. The turnarounds should be integrated into the design of the overall driveway and guest parking areas of the lot.
- Driveways shall have a maximum width of 18 feet.
- Back up from garages must be a minimum of twenty-eight (28) feet clear and the turning radius into a side entry garage must be twenty-six (26) feet minimum.
- Rear entry, multi-car, multi-car with tandem spaces, split designs, carports and subterranean garages may be allowed subject to review and approval by the Design Review Committee.
- A minimum of two (2) enclosed parking spaces are required for each individual lot.
- A minimum of two (2) guest spaces must be provided on each lot because on-street parking is prohibited. All parking must be contained behind landscape which screens parking areas and garage doors as much as possible from off-site views.

#### Grading and Drainage

- Buildings should be carefully sited on the lot and designed to minimize grading.
- If slope banks are necessary they should be contour graded and enhanced with appropriate landscape to blend with the surrounding terrain.
- Lot buyers should balance all earthwork on site.
- Where grading is necessary, drainage shall not occur from one home site to other home sites or to common areas.
- Sheetflow, roof water and overflow irrigation water must flow away from structures. Each



Golf Lodges Building Setbacks

individual homeowner is responsible for collecting and controlling all flows leaving the developed area within their lot. Flows leaving each lot shall be mitigated to pre-developed conditions prior to discharge from each lot.

- Retaining walls shall be used where necessary to preserve trees.
- The existing grade at or near the property line may not be disturbed.

#### Screening

The following must be screened by landscaping so that they are not visible from the street or neighboring lots including neighboring second story views:

- Barbecues and spas
- Mechanical equipment, such as heating or air conditioning equipment.
- Utility meters
- Outdoor storage areas or play structures
- Pool and fountain equipment

- Satellite dish and antennas
  - Trash enclosures
  - Uncovered or guest parking
  - Homeowner recreational and oversize vehicles must be stored within an enclosed structure. Screening may be accomplished by any one of the following methods:
    - Enclosed in a building that is architecturally consistent with the style of the residential building.
    - Permanent landscape planting of evergreen hedges, shrubs, trees or vines of sufficient mature height, density and breadth to completely conceal from view those things that require screening.
    - Overhead trellis
- Enforcement of the above screening standards is the responsibility of the Clear Creek HOA.

#### Recreational Facilities

- Recreational facilities shall be subject to review and approval by the Design Review Committee.

#### Exterior Sculpture and Artwork

- Any exterior site sculpture and artwork will be limited to the designated building envelope and should be hidden from public view and the golf course. All proposed sculptures and artwork shall be subject to review and approval by the Design Review Committee.

#### Homesites Adjacent to the Golf Course

- During the site planning of these homesites, the homeowner should give careful consideration to the possibility that errant golf balls may enter the homesite area. Particular attention should be given to orientation of windows, other breakable surfaces and outdoor entertainment areas.
- Netting screens, fences or walls shall be subject to review and approval by the Design Review Committee.



## SECTION FOUR. DESIGN STANDARDS

### 4.3.3 Golf Cottages

#### Site Access and Parking

- Driveways shall not exceed 14 percent slope.
- Driveways shall have a maximum width of 18 feet.
- Rear entry, multi-car, multi-car with tandem spaces, split designs and subterranean garages and carports are allowed subject to review and approval by the Design Review Committee.

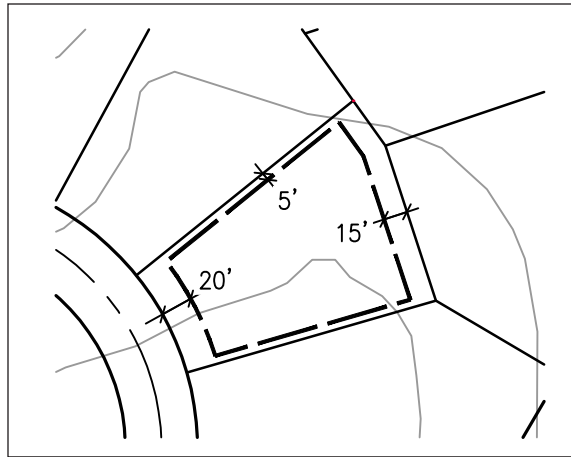
#### Grading and Drainage

- Buildings should be carefully sited on the lot and designed to minimize grading.
- If slope banks are necessary they should be contour graded and enhanced with landscape to blend with the surrounding terrain.
- Sheetflow, roof water and overflow irrigation water must flow away from structures. Each individual homesite is responsible for controlling flows leaving the developed lot area to the pre-developed level of discharge.
- Retaining walls shall be used where necessary to preserve trees.

#### Screening

The following must be screened by landscaping so that they are not visible from the street or neighboring lots including neighboring second story views:

- Barbecues
- Mechanical equipment, such as heating or air conditioning equipment.
- Utility meters
- Pool and fountain equipment, including sound attenuation devices and structures.
- Satellite dish and antennas
- Spas
- Trash enclosures



Golf Cottage Building Setbacks

Screening may be accomplished by any one of the following methods:

- Enclosed in a building that is part of, or architecturally consistent with the style of the residential building.
- Permanent landscape planting of evergreen hedges, shrubs, trees or vines of sufficient mature height, density and breadth to completely conceal from view those things that require screening.
- Overhead trellis

Enforcement of the above screening standards is the responsibility of the Clear Creek HOA.

#### Homesites Adjacent to the Golf Course

- During the site planning of these homesites, careful consideration should be given to the possibility that errant golf balls may enter the homesite area. Particular attention should be given to orientation of windows, other breakable surfaces and outdoor entertainment areas.
- Netting screens, fences or walls shall be subject to review and approval by the Design Review Committee.

#### 4.4 LANDSCAPE DESIGN GUIDELINES AND STANDARDS

This section describes the general landscape requirements that apply to the public spaces within the community as well as individual private lots. The landscaping on each individual lot will play an important role in establishing the character and quality of the overall feel of the Clear Creek Tahoe landscape. The landscape theme of Clear Creek Tahoe will reflect the existing mountain forest character of the area, incorporating rock outcroppings, pines and meadows. Unlike residential communities that rely on regularly spaced street trees in parkways, or large common landscape areas, each lot in Clear Creek Tahoe will contribute to the overall unity of the landscape character.

##### 4.4.1 Community

###### Entry Gatehouse

Located at the entrance to the community and marking the beginning of the entry drive, the “Gatehouse” introduces residents and visitors to Clear Creek Tahoe and offers a first impression of the community.

###### Monumentation, Icon Features and Bridges

Throughout the community, monumentation, icon features and bridges will be placed in areas to accent the natural landscape and screen utility boxes and other similar structures. Icon features shall utilize materials from the surrounding natural environment such as rock outcroppings, boulders, and appropriate planting materials from the plant palette.

###### Signage

- Signage within Clear Creek Tahoe will be limited to street signs, stop signs, speed limit signs and other locations specified in these Design Standards.
- Street signs, stop signs and speed limit signs are encouraged to be designed to reflect the theme of the community and be constructed of native stone, wood, and other natural materials with painted or relief cut letters.
- Street signs, stop signs and speed limit signs shall not exceed eight (8) feet in height.

###### Lighting

- Lighting within Clear Creek Tahoe should provide levels of lighting sufficient to meet safety and orientation needs, but low enough to promote the community's rural character.
- Spillover lighting is not permitted. Cut-off fixtures shall be used.
- Lighting will be limited to streetlights at intersections, the community entry, and the clubhouse/community recreation facility.
- Fixtures shall be of a scale consistent with use.
- Light fixture style, type and color are required to be articulated and should reflect the desired theme of the community.
- Streetlights shall be of a consistent style throughout the community.
- Cobra streetlights are prohibited.

###### Landscape Screening

- Utility boxes, mechanical equipment, water pumps, and other outdoor equipment shall be screened with monumentation and icon features that reflect the theme of the community.

###### Community-Wide Fences and Walls

- Fences and walls are used sparingly within the Clear Creek Tahoe Community and shall be limited to be within the building envelope. Fences and walls will be reviewed on a lot by lot basis and subject to approval by the Design Review Committee. Fences and walls can interrupt the continuity of the community and surrounding landscape which would harm Clear Creek Tahoe’s strongest asset, it’s natural environment.

## SECTION FOUR. DESIGN STANDARDS

### 4.4.2 Residential

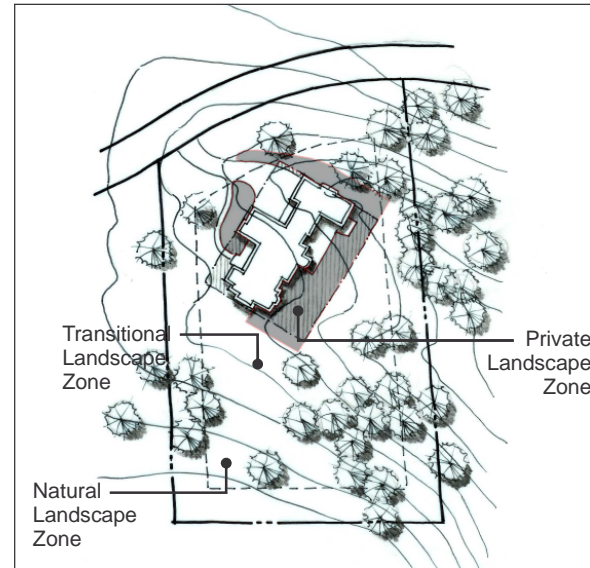
#### Planting Design Approach

To achieve the seamless integration of the individual lot and the surrounding natural landscape, the landscape design standards employ three (3) landscape zones. These landscape zones include Natural Landscape Zones, Transitional Landscape Zones, and Private Landscape Zones (See Landscape Zone illustration). These zones define areas of similar landscape visual character and planting design. A plant palette has been established for each zone.

#### Natural Landscape Zone

The Natural Landscape Zone is the predominate landscape zone used in Clear Creek because of its importance to the visual character of the community. This zone is primarily located where the property line is adjacent to street and the natural open space. The width of the Natural Landscape Zone varies depending on a variety of factors including the grade relationship between the lot and the street, the shape and size of the lot, proximity of neighboring lots and surrounding terrain. The design concept for this zone is to preserve the existing natural landscape supplemented with minimal additional landscape that matches the character of the natural landscape.

- Trees, shrubs and groundcover shall be limited to those designated on the plant palette.
- Fences and freestanding wall are not permitted within this zone.
- Retaining walls are permitted. (See Fences and Walls)



Landscape Zones

#### Transitional Landscape Zone

The Transitional Landscape Zone consists of natural landscape that serves as a transition between the Natural Landscape Zone and Private Landscape Zone. The width of the Transitional Landscape Zone varies depending on a variety of factors including the shape and size of the lot, proximity of neighboring lots and surrounding terrain. In order to create a smooth visual transition between the Natural Landscape Zone and the Private Landscape Zone, the planting design of the Transitional Landscape Zone will observe the following requirements:

- Trees, shrubs and groundcover shall be limited to those designated on the plant palette.
- Fences and freestanding wall are not permitted within this zone.
- Retaining walls are permitted. (See Fences and Walls)
- The landscape treatment must blend effectively with the natural landscape of the surrounding terrain.

#### Private Landscape Zone

The Private Landscape Zone is the portion of the lot that includes the area outside the Natural Landscape Zone and the Transitional Landscape Zone. This area is intended to serve as usable outdoor space associated with the residence such as private gardens, swimming pools, outdoor patios, and game courts. The Private Landscape Zone provides the most flexibility in terms of planting design.

- Retaining walls are permitted. (See Fences and Walls)



**Fuel Modification Zone**

Many of the lots in Clear Creek abut a Fuel Modification Zone. Fuel Modification areas exist in open space, between private lots and open space areas considered to be potential fire sources. The Fuel Modification Zone may be located within the Transitional Landscape Zone and Natural Landscape Zone. This zone is intended to retard the spread of fires and to protect the adjacent community. Typically, fuel modification includes thinning, pruning, and removal of plant material that might serve as fuel in a fire. The Fuel Modification Zone is subdivided into the following four subareas:

**Zone A: Private Landscape**

On lots which are adjacent to the Fuel Modification Zone, there is a setback of thirty (30) feet measured toward the interior of the lot from the property line adjacent to the Fuel Modification Zone.

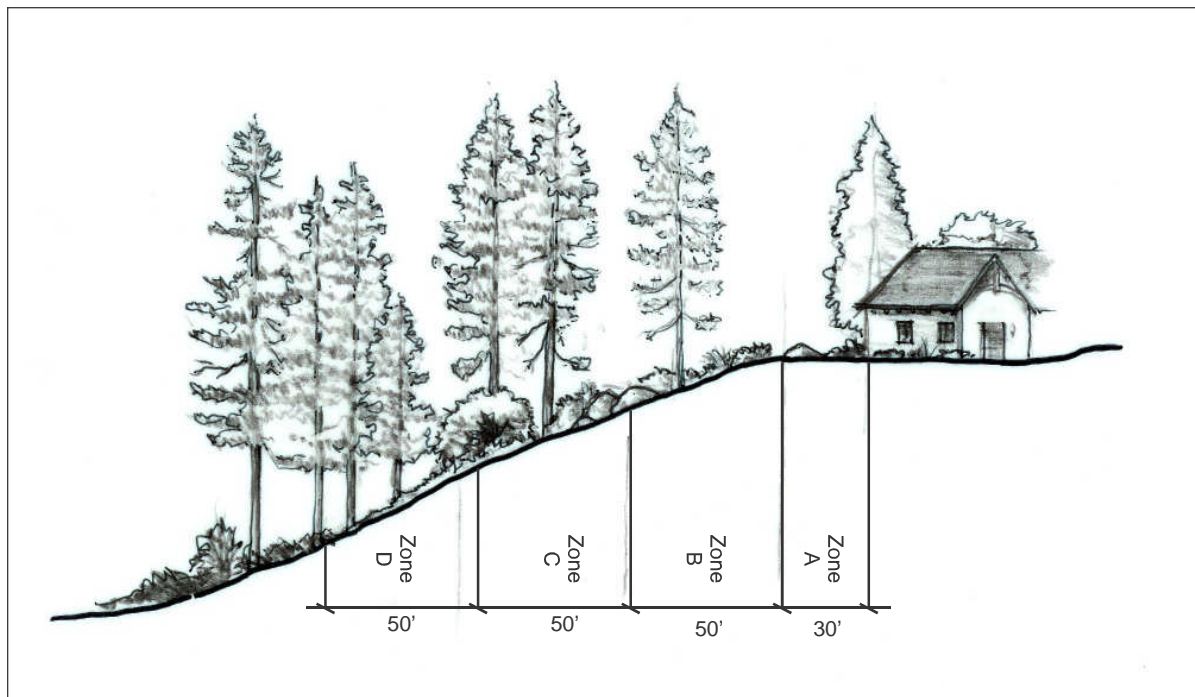
**Zone B: Noncombustible Zone**

The purpose of the zone is to provide an area in which fire resistant plant materials are planted as a fire break. In this zone, highly combustible vegetation is removed and may be replaced with fire resistant species chosen from the approved plant palette. The wet zone is a minimum of 50 feet wide.

**Zone C and D: Thinning Zones**

The purpose of the thinning zones is to reduce the amount of vegetative fuel in an on-going, periodic maintenance program. In the thinning zones highly combustible vegetation is removed, and existing vegetation is thinned and pruned up off the ground. The basic shape and form of the plants are retained as much as possible.

In Zone C, which is 50 feet wide, all highly flammable species are removed and 50 percent of the remaining vegetation is thinned and pruned. In Zone D, which is also 50 feet wide, all highly flammable species are removed and 30 percent of the remaining vegetation is thinned.



Fuel Modification Zone

## SECTION FOUR. DESIGN STANDARDS

### Individual Residential Property Fences and Walls

Fences and walls are sparingly used within Clear Creek Tahoe to preserve the community's open character and rural nature. Fences and walls can interrupt the continuity of the community and surrounding landscape. The design concept is to make fences and walls, where allowed, blend with both the architecture and the surrounding landscape, and be wildlife friendly.

- Fences and walls shall only be used within the private landscape zone and are subject to review and approval by the Design Review Committee.
- Solid walls should generally be attached to buildings or architecture elements, and be designed to be visually compatible with the architecture of the building.
- Acceptable materials include tubular steel, wrought iron, stone, rock or other materials related to the surrounding land.
- Specifically prohibited materials include exposed concrete block, metal panels, railroad tie, wood, glass, cribwall, and similar materials.
- The maximum exposed height of a fence or wall shall be six (6) feet.
- The maximum height of pilasters is six (6) feet (8) inches above rough grade.
- The tops of fences or walls in areas of grade change must be level and stepped as required with a six-foot maximum height.
- Acceptable materials for retaining walls include stone or rock.
- Retaining walls above four (4) feet must be properly engineered.
- Private driveway gates are prohibited.
- Shared fences or walls between adjacent private lots or between a private lot and open space or golf course are not permitted.
- All proposed fences and walls shall be subject to review and approval by the Design Review Committee.

### Pavement

- Pavement materials shall compliment the architectural style of the residential building.
- The use of more than two pavement types in any one area should be avoided.
- Acceptable driveways materials include natural stone unit pavers and pre-cast concrete pavers.
- Acceptable auto court materials include natural stone, brick, interlocking concrete pavers tumbled and weathered.

Landscape Lighting

The basic concept for outdoor lighting at Clear Creek is to provide levels of lighting sufficient to meet safety and orientation needs, but low enough to promote the community's rural character.

- Within public areas, lighting must be warm-colored and unobtrusive. Light sources will be concealed, and lighting indirect. Light will be reflected off natural elements such as rocks or trees.
- Light sources may not be directed into areas adjacent to the lot. All light should be directed so that adjacent lots, open space and other areas are protected from substantial light spillage and glare.
- Exposed bulbs, spot lights, reflectors, and lenses are prohibited.
- Wall mounted fixtures shall have seeded glass and be fitted with the bulbs with accumulated output no exceeding 60 watts.
- Light sources must be warm-colored. Incandescent, tungsten and metal halide sources are preferred. Mercury vapor, sodium, neon and cool fluorescent are not permitted.
- Lights that wash wall surfaces with soft, warm-colored light will be permitted, provided light levels are consistent with the overall community lighting concept.
- Game court lights are not permitted.

Address Numbers

- Acceptable materials include iron and sand-blasted or cut stone.

Mailboxes

Individual mailboxes are not permitted within Clear Creek Tahoe.

Mailboxes may be located within the Gatehouse at the entrance to the community from where residents would be able to send or receive mail.

Alternately, cluster mailbox units may be provided within Clear Creek Tahoe at locations nearer to each residence. The cluster mailbox units will be evenly distributed throughout the community and each location will be coordinated with the US Postal Service. Access easements will be provided as necessary.

Landscape Structures

- Landscape structures include gazebos, trellises, and similar garden structures.
- Landscape structures are limited to a maximum height of 12 feet from rough grade.
- Landscape structures must be consistent with the architecture of the residential building in form, scale, color and materials.

Landscape Maintenance

- All private landscape areas are to be irrigated by permanent system with automatic controllers and be designed and maintained to avoid damaging native vegetation.
- The irrigation system should accommodate the water requirements of the plant material and provide just enough water for optimum plant growth.
- Excessive watering must be avoided to eliminate impacts to the native trees and species.
- The use of efficient irrigation practices and drought tolerant plant materials is encouraged.

## 4.5 LANDSCAPE PALLETTE

Refer to Table 7: Landscape Palette, on the following page, for a list of appropriate planting materials within the Clear Creek development. The list is organized by the following categories: Deciduous Trees, Evergreen Trees, Drought Tolerant Shrubs, and Drought Tolerant Groundcover.



SECTION FOUR. DESIGN STANDARDS



Sycamore Maple



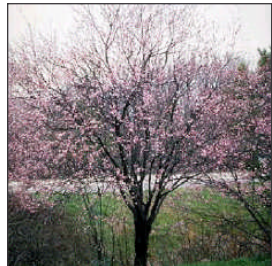
Western Catalpa



Hawthorn



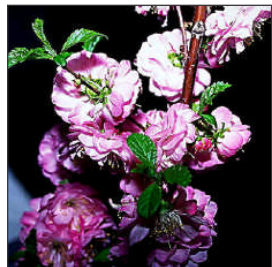
Maidenhair Tree



Purple Leaf Plum



Flowering Peach



Flowering Almond



Valley Oak

TABLE 7: LANDSCAPE PALETTE

BOTANICAL NAME

COMMON NAME

DECIDUOUS TREES

BOTANICAL NAME	COMMON NAME
<i>Acer freemanii</i>	Jeffersned' Autumn Blaze Maple
<i>Acer ginnala</i>	Amur Maple
<i>Acer negundo 'Sensation'</i>	Sensation Box Elder
<i>Acer negundo 'Variegatum'</i>	Variegated Box Elder
<i>Acer platanoides</i>	Norway Maple
<i>Acer platanoides schwedleri</i>	Schwedler Maple
<i>Acer pseudoplatanus</i>	Sycamore Maple
<i>Acer rubrum</i>	Red Maple
<i>Betula</i>	White Birch
<i>Betula pendula spp</i>	Weeping Birch
<i>Carpinus betula</i>	European Hornbeam
<i>Catalpa bignonioides 'Nana'</i>	Umbrella Catalpa
<i>Catalpa speciosa</i>	Western (northern) Catalpa
<i>Cedrus atlantica 'Glauca'</i>	Blue Atlas Cedar
<i>Celtis occidentalis</i>	Common Hackberry
<i>Celtis reticulata</i>	Western Hackberry
<i>Cerrcis occidentalis</i>	Western Red Bud
<i>Continus coggyria D</i>	Smoke Tree
<i>Crataegus spp</i>	Hawthorn
<i>Fraxinus americana</i>	Autumn Purple Ash
<i>Fraxinus excelsior</i>	European Ash
<i>Fraxinus ornus</i>	Flowering Ash
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Fraxinus quadrangulata</i>	Blue Ash
<i>Ginkgo biloba</i>	Maidenhair Tree (male only)
<i>Ostrya virginiana</i>	Ironwood
<i>Platanus spp</i>	Plane Tree
<i>Populus tremulodes</i>	Aspen
<i>Prunus cerasifera atropurpurea</i>	Purple Leaf Plum
<i>Prunus persica</i>	Flowering Peach
<i>Prunus spp</i>	Flowering Cherry
<i>Prunus triloba</i>	Flowering Almond
<i>Pyrus calleryana</i>	Flowering Pear
<i>Quercus coccinea</i>	Scarlet Oak
<i>Quercus douglasii</i>	Blue Oak
<i>Quercus gambelii</i>	Gambel Oak
<i>Quercus lobata</i>	Valley Oak

BOTANICAL NAME	COMMON NAME
<b>DECIDUOUS TREES CONTINUED...</b>	
<i>Quercus palustris</i>	Pin Oak
<i>Quercus robur</i>	English Oak
<i>Quercus rubra</i>	Red Oak
<i>Robinia ambigua</i>	Idaho/Purple Robe Locust
<i>Sorbus aucuparia</i>	European Mountain Ash
<i>Tilia cordata</i>	Little Leaf Linden
<b>EVERGREEN TREES</b>	
<i>Calocedrus decurrens</i>	Incense Cedar
<i>Cedrus atlantica</i>	Atlas Cedar
<i>Cupressus arizonica</i>	Arizona Cypress
<i>Juniperus communis</i>	Swedish Juniper
<i>J. scopolorum spp</i>	Western Redcedar
<i>J. virginiana spp</i>	Redcedar (eastern cedar)
<i>Picea engelmannii</i>	Engleman Spruce
<i>P. excelsa</i>	Norway Spruce
<i>P. glauca densata</i>	Black Hills Spruce
<i>P. pungens glauca</i>	Colorado Blue Spruce
<i>P. pungens</i>	Colorado Green Spruce
<i>P. contorta</i>	Shore Pine
<i>Pinus aristata</i>	Bristlecone Pine
<i>Pinus contorta latifolia</i>	Lodgepole Pine
<i>Pinus densiflora umbraculifera</i>	Japanese Umbrella Pine
<i>Pinus edulis</i>	Two-needle Pinyon Pine
<i>Pinus flexilis</i>	Limber Pine
<i>Pinus jeffrey</i>	Jeffrey Pine
<i>Pinus monophylla</i>	Single-leaf Pinyon Pine
<i>Pinus monticola</i>	Western White Pine
<i>Pinus mugo</i>	Swiss Mt. Pine
<i>Pinus nigra</i>	Austrian Pine
<i>Pinus ponderosa</i>	Ponderosa Pine
<i>Pinus strobiformis</i>	Border Pine
<i>Pinus sylvestris</i>	Scotch Pine
<i>Thuja occidentalis varieties</i>	Arborvitae



English Oak



European Mountain Ash



Incense Cedar



Arizona Cypress



Swedish Juniper



Engleman Spruce



Japanese Umbrella Pine



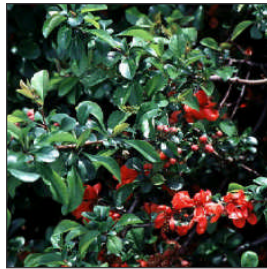
Swiss Mt. Pine



SECTION FOUR. DESIGN STANDARDS



Pygmy Pea-shrub



Japanese Flowering Quince



Buish Cinquefoil



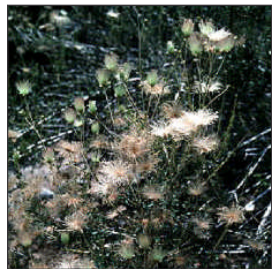
Garden Sage



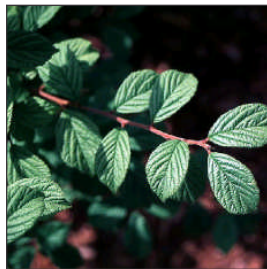
Mentor Barberry



Fuzzy Deutzia



Apache Plume



Nanking Cherry

BOTANICAL NAME

COMMON NAME

DROUGHT TOLERANT SHRUBS

Shrubs (1-4 feet in height)

- Amelanchier (D)
- Artemisia *spp* (D)
- Caragana pygmaea* (D)
- Caryopteris (D)
- Chaenomeles japonica* (D)
- Deutzia gracilis* (D)
- Deutzia rosea* (D)
- Genista hispanica* (D)
- Penstemon newberri*
- Potentilla fruticosa* (D)
- Ribes alpinum* (D)
- Salvia officinalis* (D)
- Santolina chamaecyparissus* (E)
- Senecio cineraria* (D)
- Spiraea spp* (D)
- Symphoricarpos albus* (D)
- Symphoricarpos chenaultii*(D)
- Symphoricarpos orbiculatus* (D)

- Dwarf Serviceberry
- Southernwood, Common Wormwood
- Pygmy Pea-shrub
- Blue Spirea
- Japanese Flowering Quince
- Slender Deutzia
- Rose-panicked Deutzia
- Spanish Broom
- Mountain Pride
- Buish Cinquefoil
- Alpine Currant
- Garden Sage
- Lavender Cotton
- Dusty Miller
- Spiraea
- Common Snowberry
- Chenault Coralberry
- Indian Currant

Shrubs (4-8 feet in height)

- Atriplex canescens* (E)
- Berberis mentorensis* (D)
- Berberis thunbergii* (D)
- B. thunbergii* 'Crimson pygmy' (D)
- Boxus micropophylla 'Koreana'* (E)
- Chaenomeles speciosa* (D)
- Deutzia scabra* (D)
- Elegnus multiflora* (D)
- Fallugia paradoza* (D)
- Mahonia aquifolium* (E)
- Paeonia suffruticosa* (D)
- Picea abies varieties* (E)
- Pinus maghus* (E)
- Prunus besseyi* (D)
- Prunus glandulosa* (D)
- Prunus tomentosa* (D)

- Saltbrush Quail Bush
- Mentor Barberry
- Japanese Barberry
- Barberry Crimson Pygmy
- Korean Boxwood
- Common Flowering Quince
- Fuzzy Deutzia
- Cherry Eleagnus
- Apache Plume
- Oregan Holly Grape
- Tree Peony
- Dwarf Norway Spruce
- Dwarf Mugho Pine
- Western Sand Cherry
- Dward Flowering Almond
- Nanking Cherry



BOTANICAL NAME

COMMON NAME

DROUGHT TOLERANT SHRUBS CONTINUED...

Shrubs (4-8 feet in height)

<i>Purshia tridentata</i>	Bitterbrush, Antelope
<i>Rhus aromatica</i> (D)	Fragrant Sumac
<i>Rhus trilobata</i> (D)	Skunkbush, Squawbush
<i>Ribes aureum</i> (D)	Golden Currant
<i>Ribes sanguineum</i> (D)	Winter Currant
<i>Robinia hispida</i> (D)	Rose Acacia
<i>Rosa harisonii</i> (D)	Hanson's Yellow Rose
<i>Rosa hugonis</i> (D)	Father Hugo Rose
<i>Rosa rugosa</i> (D)	Ramanas Rose/Sea Tomato
<i>Spiraea spp</i> (D)	Spiraea
<i>Syringa persica</i> (D)	Persian Lilac



Fragrant Sumac



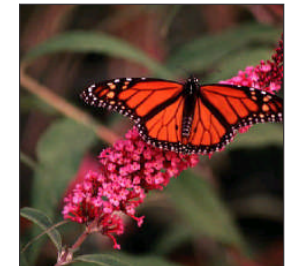
Rose Acacia

Shrubs (over 8 feet in height)

<i>Amelanchier alnifolia</i> (D)	Serviceberry/Juneberry
<i>Aronia arbutifolia</i> (D)	Red Chokeberry
<i>Artemisia tridentata</i> (E)	Big Sagebrush
<i>Buddleia davidii</i> (E)	Fountain Butterfly Bush
<i>Caragana arborescens</i> (D)	Siberian Peashrub
<i>Cornus alba</i> (D)	Dogwood
<i>Cornus mas</i> (D)	Cornelian Cherry
<i>Cornus stolonifera</i> (D)	Redosier Dogwood
<i>Corylus maxima purpurea</i> (D)	Smoke Bush
<i>Euonymus alatus</i> (D)	Burning Bush/Winged Euonymus
<i>Exochorda spp</i> (D)	Pearl Bush
<i>Forsythia intermedia</i> (D)	Forsythia
<i>F. suspensa</i> (D)	Weeping Forsythia
<i>F. viridissima</i> (D)	Greenstem Forsythia
<i>Hippaphoe rhamnoides</i> (D)	Sea Buckthorn
<i>Holodiscus discolor</i> (D)	Cream Bush/Ocean Spray
<i>Kerria japonica</i> (D)	Kerria
<i>Loniceua spp</i> (C)	Honeysuckle
<i>Philadelphus coronarius</i> (D)	Sweet Mock Orange
<i>Prunus virginiana demissa</i> (D)	Western Chokecherry
<i>Pyracantha spp</i> (E)	Firethorn
<i>Rhamnus frangula</i> (D)	Alder Buckthorn
<i>Rosa foetida</i> (D)	Austrian Brier



Serviceberry/Juneberry



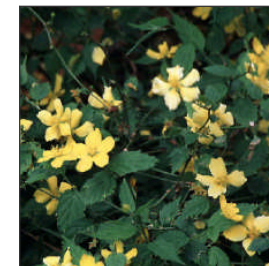
Fountain Butterfly Bush



Siberian Peashrub



Dogwood



Kerria



Austrian Brier

SECTION FOUR. DESIGN STANDARDS



Chinese Chaste Tree



Crown Vetch

BOTANICAL NAME

COMMON NAME

DROUGHT TOLERANT SHRUBS CONTINUED...

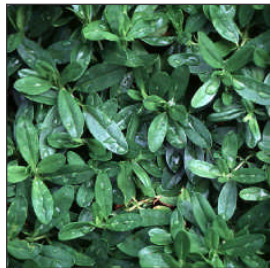
Shrubs (over 8 feet in height)

- Shepherdia *argentea* (D)
- S. vulgaris* (D)
- T. pentandra* (D)
- Vitex agnuscastus latifolia* (D)

- Silver Buffalo Berry/Wild Oleaster
- Common Lilac
- Five-Stamen Tamarix
- Chinese Chaste Tree



Sulphur Flower



Sunrose

DROUGHT TOLERANT GROUNDCOVER

- Coronilla varia* (D)
- Cotoneaster horizontalis* (D)
- Cotoneaster microphylla* (E)
- Duchesnea indica* (D)
- Eriogonum umbellatum* (D)
- Genista sagittalis* (D)
- Helianthemum nummularium* (E)
- Hypericum calycium* (E)
- Iberis sempervirens* (E)
- Juniperus spp* (E)
- Mahonia nervosa* (E)
- Mentha piperita* (D)
- M. spicata* (D)
- Phlox subulata* (D)
- Polygonum cuspidatum* (D)
- Sedum acre* (E)
- Teucrium chamaedrys* (E)
- Thymus praecox arcticus* (D)
- Vinca minor* (E)

- Crown Vetch
- Rock Cotoneaster
- Rockspray Cotoneaster
- Indian Mock Strawberry
- Sulphur Flower/Wild Buckwheat
- Broom
- Sunrose
- Aaron's Beard/St. Johnswort
- Candytuft
- Juniper
- Longleaf Mahonia
- Peppermint
- Spearmint
- Creeping Phlox/Moss Pink
- Japanese Knotwood
- Golden Carpet
- Germander
- Mother-of-Thyme/Creeping Thyme
- Periwinkle



Aaron's Beard



Candytuft



Peppermint



Germander



BOTANICAL NAME

COMMON NAME

DROUGHT TOLERANT GROUNDCOVER CONTINUED...

Groundcover - Other

<i>Achillea tomentosa</i>	Wolly Yarrow
<i>Aethionema coridifolium warleyense</i>	Stone-cress
<i>Aigopodium podagraria variegatum</i>	Variegated Goutweed
<i>Arabis spp</i>	Rock-cress
<i>Artemisia schmidtiana nana</i> (D)	Silver Mound Artemisia
<i>Artemisia stelleriana</i>	Beach Wormwood
<i>Campanula carpatica</i>	Carpathian Bellflower
<i>Cerastium tomentosum</i> (D)	Snow-in-Summer
<i>Coreopsis verticillata</i>	Coreopsis
<i>Coronilla varia</i> (D)	Crown Vetch
<i>Dianthus spp</i>	Pinks
<i>Festuca ovina glauca</i>	Blue Fescue-grass
<i>Gypsophila repens</i>	Creeping Gypsophila
<i>Hemerocallis spp</i> (D)	Daylily
<i>Lavandula</i> (D)	Lavender
<i>Ophiopogon japonicus</i>	Japan Grass, Lilly Turf
<i>Pachysandra terminalis</i> (shade)	Japanese Pachysandra
<i>Phalaris arundinacea picta</i>	Ribbon Grass
<i>Potentilla tridentata</i> (D)	Three Toothed Cinquefoil
<i>Sanonaria ocymoides</i>	Rock Soapwort
<i>Santolina</i> (D)	Chamaecyparissus
<i>Satureja montana</i>	Winter Savory
<i>Sedum spp</i> (D)	Stonecrop
<i>Sencio cineraria</i> (D)	Dusty Miller
<i>Stachys lanata</i>	Lamb's Ear
<i>Thymus spp</i> (D)	Thyme
<i>Vinca minor</i>	Periwinkle
<i>Viola</i>	Violet, Pansy
<i>Viloa pedtapedata</i> (shade only)	Bird's Food Violet



Wolly Yarrow



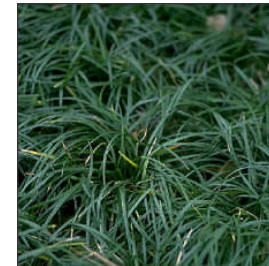
Silver Mound Artemisia



Carpathian Bellflower



Snow-in-Summer



Japanese Grass, Lilly Turf



Japanese Pachysandra



Ribbon Grass



Bird's Food Violet



## SECTION FOUR. DESIGN STANDARDS

### 4.6 ARCHITECTURE DESIGN GUIDELINES AND STANDARDS

In the planning of Clear Creek Tahoe, special attention has been given to the natural features of the site that make it unique and memorable. Stands of Jeffrey Pines have been preserved and integrated into the design of the community so that their natural beauty can be enjoyed by residents. Rock outcroppings characteristic of the area have been protected and natural drainage courses have been preserved and will provide important habitat for the area's wildlife. Roads in Clear Creek Tahoe gently conform to the natural terrain and bend and weave through the site to reinforce the community's rural character, while comfortably connecting the residential homesites. Finally, the home sites on the hills have been sited to fit comfortably in the gently rolling character of the site.





#### 4.6.1 MASSING AND SCALE

The massing and scale of the Clear Creek Tahoe residences will evoke a feeling of community. Homes will have grand entrances, courtyards and be elegantly landscaped.



## SECTION FOUR. DESIGN STANDARDS

### 4.6.2 COLOR

Acceptable colors are the earth tones of brown, rust and grays, as well as the deeper earthier shades of dark blues, deep greens, and deep reds. Wood can be stained or painted. Metal is to be non-reflective, as well as the darker colors.

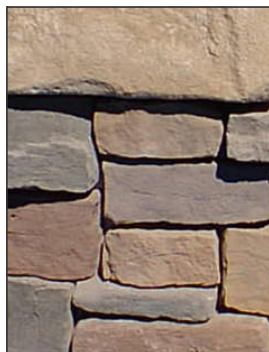






**4.6.3 EXTERIOR MATERIALS**

Exterior building materials will be primarily composed of natural stone, concrete, wood, glass, metal, and asphalt composition shingles and shall be reviewed and approved by the DRC as part of an onsite mockup.



## SECTION FOUR. DESIGN STANDARDS

### 4.6.4 HEIGHT/ROOF PITCH

Roof design predominantly reflects the mountain environment by responding to topographic and weather conditions. Building heights are to be sensitive to the surroundings and take advantage of views.

Discretion to determine roof pitch shall be given to the design review committee. Decisions made and designs approved by design review committee shall replace and supersede the standards in the Douglas County Development Code 20.690.







Note the tongue and groove siding



**4.6.5 DETAILS**

Details that are encouraged include stone chimneys and stone foundation veneer; the use of heavy timber and other wood details such as lap or tongue-and-groove siding and wood railings/posts; capstones on pilasters at walls; stone terracing walls at slopes and as part of landscaping designs; rooflines with appurtenances such as dormers and cupolas.

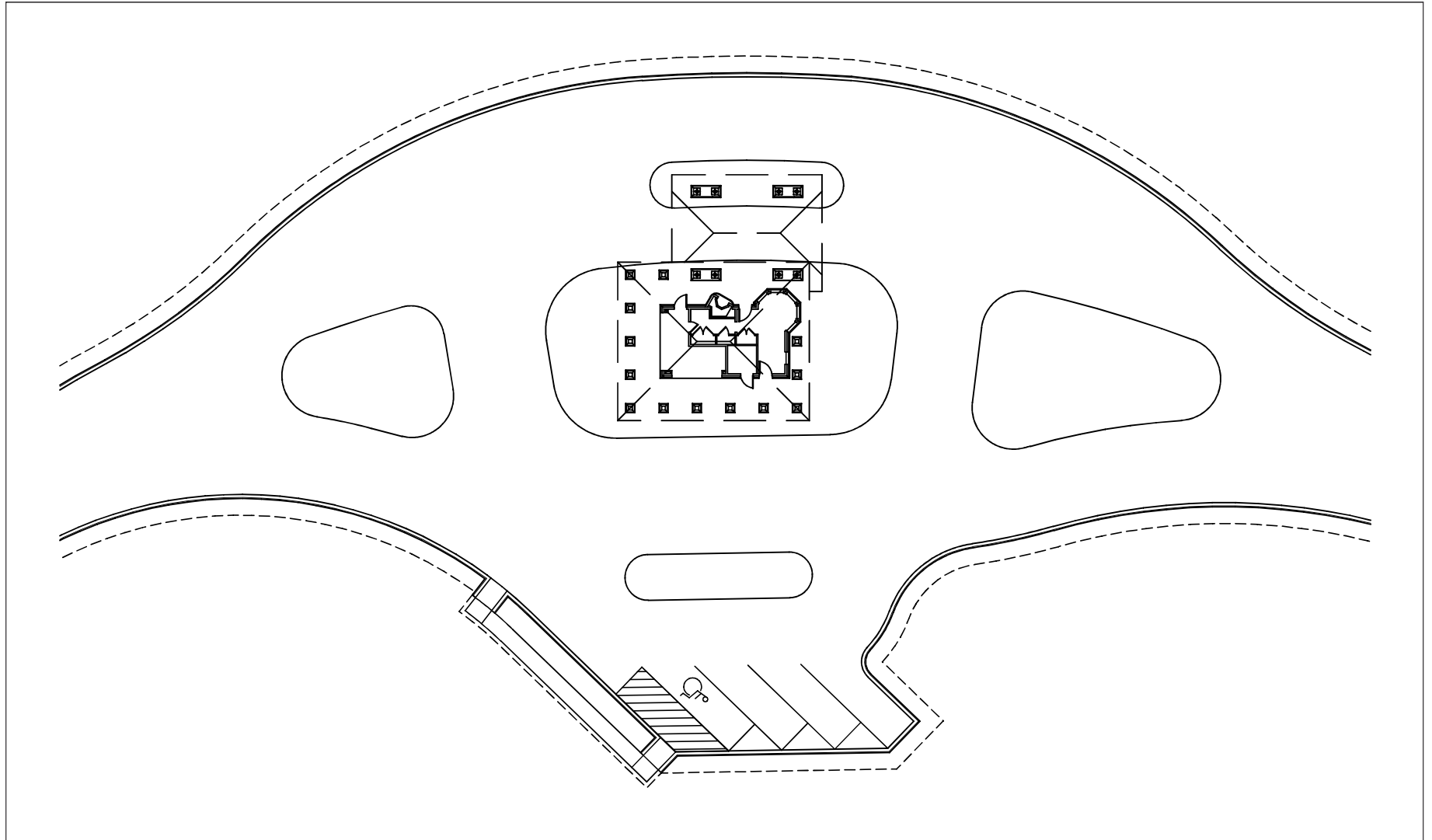
Note the stone chimney and heavy timbers





4.6.6 GATEHOUSE ARCHITECTURE

The genesis and inspiration for the Gate House architecture is the same as that of the Clubhouse. The massing, materials and colors are to be consistent to those described for the Clubhouse.



Conceptual Gatehouse Plans

#### 4.6.7 CLUBHOUSE ARCHITECTURE

The architectural theme for the Community Clubhouse facility is born of the site. Clear Creek is a place rich in texture and color. The tall trees and rock outcroppings inspire and evoke a rugged spirit. The rich soil and deep green vegetation establish a tone, value, and hue.

The proposed Clubhouse at Clear Creek Tahoe was precisely located to take advantage of a series of natural amenities. The building sits upon a high point in the center of the saddle. There are a series of rock outcroppings near the top of the knoll that the Clubhouse will envelope. The concept for the building was not to mask or conceal the boulders, but to celebrate and accentuate them. The boulders are framed by the building and the landscape is designed to emanate from the rocks. The building is oriented primarily to the south and will wrap around the boulders to gain an eastern exposure for the pro-shop.

Architectural materials and massing relate to the site. The land is horizontal with many tall trees adding a vertical component. The building will share a similar philosophy. The mass of the building and decks will lend to the horizontal nature of the structure. Specific architectural component will speak to the vertical, the steep roof pitch and a roofline that is not one continuous horizontal plane. The exterior material will be natural stone, rough hewn timbers, low reflective glass, stucco, slate roofing, copper architectural details, and wood sliding. The objective is to communicate authenticity through the use of honest material.



Clubhouse Siting

Colors should be selected from the site. Bright non-natural colors are to be avoided. A good way to select color is to take a series of photographs of the site and use a computer color matching technique to isolate a color pallet specific to Clear Creek.

**5.1 PHASING**

There are a variety of tasks that must be completed at various intervals of the project to ensure the success of the development. The first component of project development is the implementation of all off-site utilities and infrastructure necessary for the upcoming development. Off-site utilities and infrastructure include, but are not limited to the following:

- Off-site water system improvements need to extend water to the property, and the construction of on-site water storage tanks;
- Off-site sewer system improvements to connect to the Carson City system;
- Extension of dry utilities such as gas, power, telephone, and cable to the site;
- Construction of the Highway 50 underpass and linkage road from the underpass to Clear Creek Bridge; and
- Construction of a roadway through the site as well as the Bavarian emergency access road.

On-site facilities associated with the golf course then follow, and include:

- Construction of the golf course, clubhouse, and operation facilities;
- Construction of the irrigation water storage pond; and
- Acquisition of Timber Conversion and Harvest Permits.

The remaining improvements relate to the development of the residential portion of the project and include:

- Construction of internal roadways;
- Construction of water distribution and fire protection facilities (hydrants);
- Construction of sewerage system, including lift stations; and
- Extension of dry utilities throughout the site.

It is possible that the improvements identified for the residential portion of the project could be broken into smaller phases of suitable development sizes. The phasing of these improvements will be further established as the project progresses.

**5.2 MASTER PLAN CONFORMANCE**

Refer to Table 8: Master Plan Conformance, on the following page, for a summary and review of how the Clear Creek Tahoe plan is in conformance with the Douglas County Master Plan and its goals, objectives and policies.